

**NOTICE OF PUBLIC HEARING
BEFORE HOMEWOOD PLANNING COMMISSION**

Notice is hereby given that an ordinance to add Article VIII entitled "Downtown District" to Appendix A entitled "Zoning" of the Code of Ordinances of the City of Homewood, Alabama; to amend the Zoning Map of the City of Homewood; and to rezone the parcels of property listed in exhibits attached to the ordinance from their current zoning district to (LI) Downtown Low Intensity District, (MI) Downtown Medium Intensity District, or (HI) Downtown High Intensity District, respectively will be considered by the Homewood Planning Commission at a public hearing to be held before the Planning Commission of the City of Homewood on **Tuesday, November 12, 2019**, in the City Council Chambers at **6:00 p.m.**, at **Homewood City Hall at 2850 19th Street South, Homewood, Alabama**, at which time and place all persons who desire shall have an opportunity of being heard in opposition to or in favor of such proposed amendment to the Zoning Ordinance. Copies of the proposed Amendment to the Homewood Zoning Ordinance are available for inspection at the Office of the City Clerk and the Building, Engineering, and Zoning Department on the 4th floor of Homewood City Hall at 2850 19th Street South, Homewood, Alabama, prior to and up until the time of the public hearing identified above.

Witness my hand this the _____ day of _____, 2019.

This notice posted: _____, 2019

At the following locations: Mayor's Office (City Hall), Homewood Public Library, Homewood Senior Center (Oak Grove Road) and Lee Community Center (Rosedale)

And at www.homewoodal.net.

ORDINANCE NO. _____

AN ORDINANCE TO ADD ARTICLE VIII ENTITLED "DOWNTOWN DISTRICT" TO APPENDIX A ENTITLED "ZONING" OF THE CODE OF ORDINANCES OF THE CITY OF HOMEWOOD, ALABAMA; TO AMEND THE ZONING MAP OF THE CITY OF HOMEWOOD; TO REZONE THE PARCELS OF PROPERTY LISTED IN EXHIBIT B FROM THEIR CURRENT ZONING DISTRICT TO (LI) DOWNTOWN LOW INTENSITY DISTRICT; TO REZONE THE PARCELS OF PROPERTY LISTED IN EXHIBIT C FROM THEIR CURRENT ZONING DISTRICT TO (MI) DOWNTOWN MEDIUM INTENSITY DISTRICT; AND TO REZONE THE PARCELS OF PROPERTY LISTED IN EXHIBIT D FROM THEIR CURRENT ZONING DISTRICT TO (HI) DOWNTOWN HIGH INTENSITY DISTRICT.

BE IT ORDAINED by the City Council of the City of Homewood at a regular meeting, duly assembled, a quorum being present, as follows:

Section 1. That Article VIII entitled "Downtown District" is added to Appendix A entitled "Zoning" of the Code of Ordinances of the City of Homewood previously adopted by the City Council of the City of Homewood to read as follows:

ARTICLE VIII. DOWNTOWN DISTRICT

Sec. A. Purpose.

The Downtown District Article is adopted to ensure that development projects, public and private, in Downtown implement the Heart of Homewood Downtown Master Plan. The intensity zoning districts promote walkable, compact, downtown development. The zones will vary the intensity of land use, variety of land uses, scale and size of buildings, and other factors according to the context. This Article is intended to promote traditional urban form and a lively mix of uses, allowing for shopfronts, sidewalk cafes, and other commercial uses at the street level, with wide sidewalks and shade trees, overlooked by upper story residences and offices.

Sec. B. General Regulations.

In order to implement the Heart of Homewood Downtown Master Plan and regulate character, intensity, land use and transportation priority in a manner that reflects Downtown while respectfully meeting the adjoining neighborhoods; Downtown Homewood is divided into three new intensity districts: LI Downtown Low Intensity District, MI Downtown Medium Intensity District, and HI Downtown High Intensity District. Some properties within the Master Plan area will maintain their current zoning designations, including all properties zoned residential as well as some commercial and institutional properties. These are identified on the zoning map in **Sec. C.**

- (1) New zoning districts enabled.** The LI, MI, and HI districts established and regulated by this article are new zoning districts that supplement the zoning districts set forth in Article III, Sec. A, Appendix A, Zoning, of the Code of Ordinances of the City of Homewood Alabama. The districts are created based on intensity of development, coordinating use, height, setback, parking location, streetscape and other built elements.

- a. **LI district.** The LI Downtown Low Intensity District is characterized by medium density residential areas, with a mix of uses, home occupations, and accessory buildings. It contains a wide range of building types: houses, townhouses, duplexes, triplexes, small apartment buildings, and neighborhood commercial uses.
 - b. **MI district.** The MI Downtown Medium Intensity District is intended to reflect the historic character of 18th Street. This district consists of predominantly vertical mixed-use with shopfronts along street-lined streets with large sidewalks.
 - c. **HI district.** The HI Downtown High Intensity District is characterized by predominantly mid-rise mixed-use buildings that largely include shopfront and common entry facades at the street.
- (2) **Street types designated.** Downtown streets are designated as A-streets and B-streets. Requirements for facades and parking location vary according to the street designation on the downtown zoning map. A-streets are more pedestrian-oriented, and B-streets are more access-oriented. A-streets are mapped on [Figure 1. Downtown Homewood Zoning Map](#) and the remaining streets are B-streets. Street type should be changed over time to reflect sidewalk and streetscape improvements.
- (3) **Application of this article.** No structure may be constructed or maintained, and no land use commenced or continued within Downtown except as authorized by this article.
- (4) **Conflicting ordinances.** Wherever there appears to be a conflict between this article and other sections of Appendix A, the requirements specifically set forth in this article prevail. For development standards not covered by this article, the other applicable sections in the Appendix A, Zoning, of the Code of Ordinances of the City of Homewood Alabama are the requirement. All development must comply with all relative Federal, State or local regulations and ordinances regarding health and safety.
- (5) **Nonconforming uses.** Within the districts established by this article there exist lots, structures, and uses of land and structures, which were lawful when established, but which would be prohibited or restricted under the terms of this ordinance or any future amendment. These nonconformities may continue until they are removed. Nonconformities may not be enlarged, expanded or extended.
- a. **Continuance:** A nonconforming use lawfully existing at the effective date of this article may be continued, although it does not conform with the provisions of this article.
 - b. **Restoration to safe condition.** Nothing in this article prevents the restoration of any building or structure to a safe or sanitary condition when required by the proper authorities.
 - c. **Restoration after damages.** Other than detached dwellings, no nonconforming building or structure which has been damaged by fire or other causes to more than fifty (50) percent of its current replacement value prior to the time of such damage, may be rebuilt or restored except in conformity with the provisions of this article.
 - d. **Abandonment.** A nonconforming use which has been discontinued for a continuous period of one (1) year cannot be reestablished, and any future use must be in conformity with this ordinance.
 - e. **Change in use.** A nonconforming use cannot be changed to another nonconforming use. A nonconforming use which is changed to a conforming use will not be permitted to revert to a nonconforming use.
- (6) **District boundaries.** Where uncertainty exists as to the boundaries of the zoning districts shown on the Downtown Homewood Zoning Map in [Figure 1](#), the following rules apply:

- a. Where a zoning district boundary is located within or along a right-of-way, the boundary line is deemed to be along the centerline of the right-of-way.
- b. Where a zoning district boundary is shown as approximately following lot lines, the boundary line is deemed to coincide with the lot lines.

(7) Remedies. When any building or other structure is erected, constructed, reconstructed, altered, repaired, converted, or maintained; or any building, structure or land is used in violation of this article, the building official of the city or any other appropriate authority or any adjacent or neighboring property owner who would be damaged or caused hardship by such violation may bring an injunction, mandamus, or other appropriate action or proceeding, to correct or abate such violation or to prevent occupancy of such building, structure, or land.

Sec. C. Downtown Zoning Map.

The boundaries of the districts are as shown on the Downtown Homewood Zoning Map in [Figure 1](#). The zoning map and all the notations are a part of this ordinance.

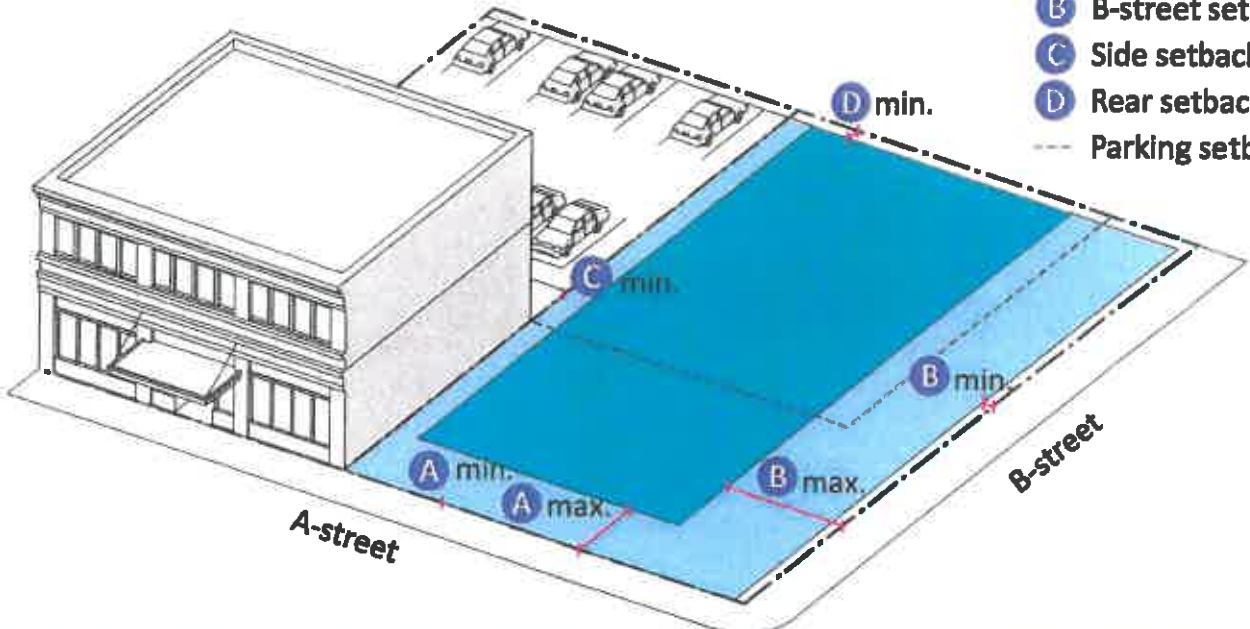


Figure 1. Downtown Homewood Zoning Map

Sec. D. LI Downtown Low Intensity District.

All lots in the LI district must meet the standards of [Table 1. LI Building and Site Standards](#). This district is intended to provide a transition in building scale and use from the main street character of MI and the city-center character of HI into the surrounding neighborhoods.

Table 1. LI Building and Site Standards



Legend:

- A** A-street setbacks
- B** B-street setbacks
- C** Side setbacks
- D** Rear setbacks
- Parking setbacks

BUILDING SETBACKS		PARKING, LOADING AND STORAGE SETBACKS	
a. A-street	16 ft. max.	A-street	30 ft. min. or behind building
b. B-street	8 ft. min. – 24 ft. max. ¹	B-street	10 ft. min. with screening per Sec. I
c. Side property line ²	0 ft. or 5 ft. min.	Side property line	3 ft. min.
d. Rear property line	3 ft. min.	Rear property line	3 ft. min.
MINIMUM BUILDING WIDTH		LOT COVERAGE	
A-street	60% min.	Lot coverage by buildings	70% max.
B-street	30 ft. min.	Building width	100 ft. max.
MINIMUM GLASS		FACADE TYPES	
A-street	30% min.	Porch	Stoop
B-street	15% min.	Common entry	Terrace
Upper floors	n/a	Shopfront	
HEIGHT			
Building	2 stories max.	Parking structure	n/a

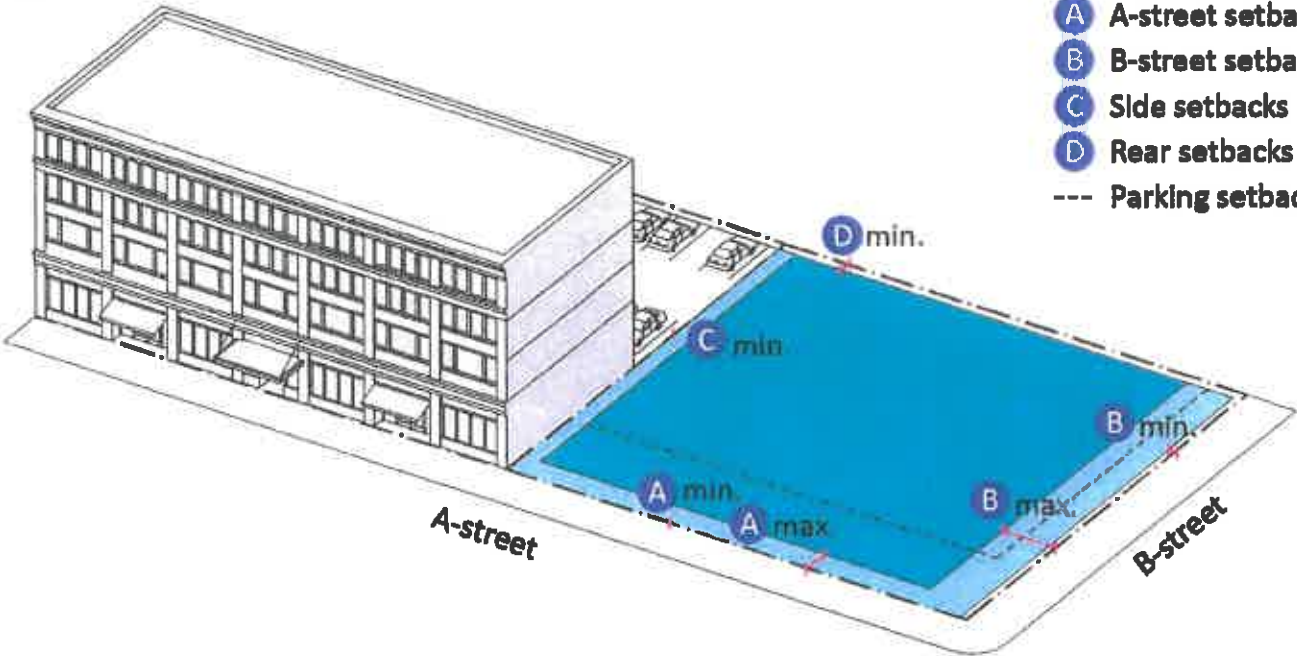
¹ B-street setbacks at the intersection with an A-street is 24 ft. max., permitting a 0 ft. setback.

² Side property line is 5 ft. min. when adjacent to any non-intensity district.

Sec. E. MI Downtown Medium Intensity District.

All lots in the MI district must meet the standards of **Table 2. MI Building and Site Standards**. This district is intended enhance the main street character of 18th Street and create a similar character in other areas of Downtown. This district consists of predominantly mixed-use with shopfronts along street-lined streets with large sidewalks.

Table 2. MI Building and Site Standards



A A-street setbacks
 B B-street setbacks
 C Side setbacks
 D Rear setbacks
 --- Parking setbacks

BUILDING SETBACKS		PARKING, LOADING AND STORAGE SETBACKS	
a. A-street	8 ft. max.	A-street	30 ft. min. or behind building
b. B-street	2 ft. min. – 16 ft. max.	B-street	10 ft. min. with screening per Sec. I
c. Side property line ¹	0 ft. min.	Side property line	3 ft. min.
d. Rear property line	3 ft. min.	Rear property line	3 ft. min.
MINIMUM BUILDING WIDTH		LOT COVERAGE	
A-street	70% min.	Lot coverage by buildings	100% max.
B-street	40 ft. min.	Building width	120 ft. max.
MINIMUM GLASS		FACADE TYPES	
A-street	50% min.	Shopfront	Common entry
B-street	30% min.	Terrace	Stoop ²
Upper floors	15% min.		
HEIGHT			
Building	4 stories max. ³	Parking structure	3 stories max.

¹ Side property line is 5 ft. min. when adjacent to residential use districts.

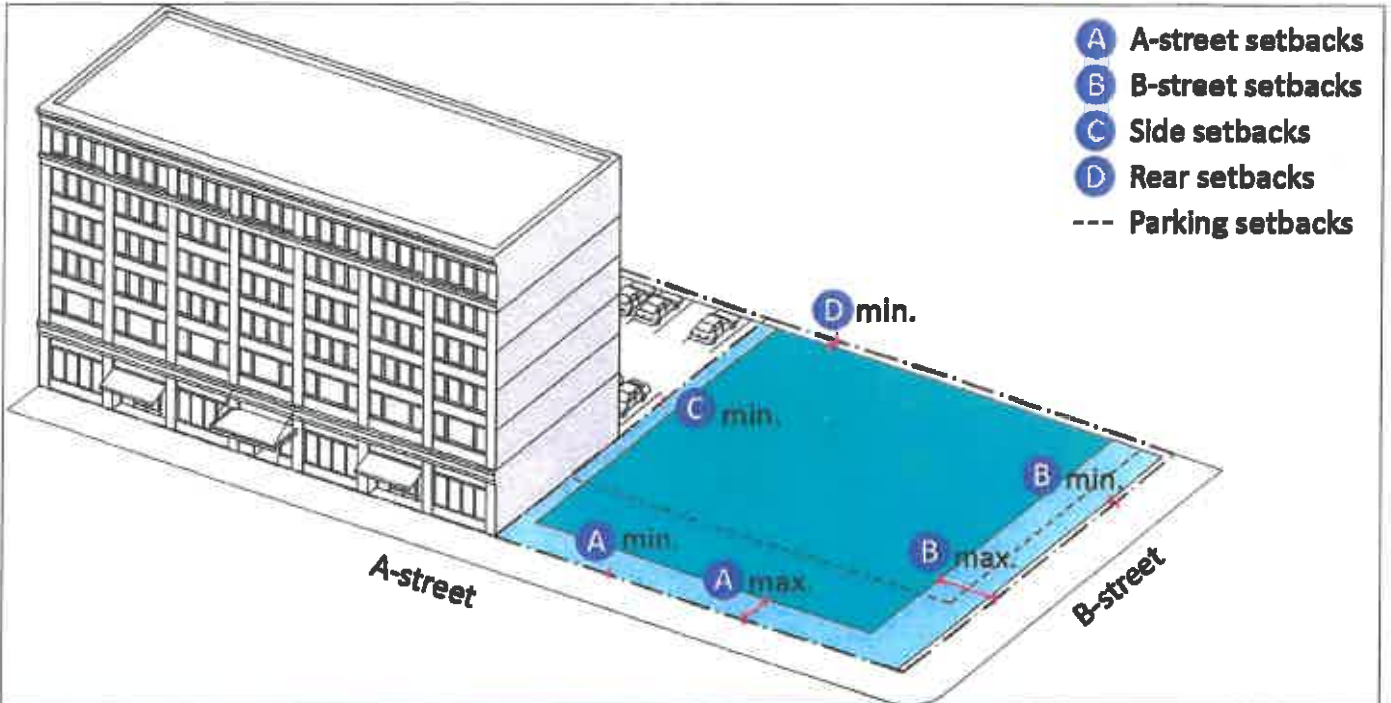
² A stoop facade is not permitted on 18th St. S.

³ Height is limited to 2 stories max. facing 18th St. S. between Oxmoor Rd. and 28th Ave. S.

Sec. F. HI Downtown High Intensity District

All lots in the HI district must meet the standards of [Table 3. HI Building and Site Standards](#). This district is the core of Downtown Homewood and has the greatest intensity of the city.

Table 3. HI Building and Site Standards



Legend:

- A** A-street setbacks
- B** B-street setbacks
- C** Side setbacks
- D** Rear setbacks
- Parking setbacks

BUILDING SETBACKS		PARKING, LOADING AND STORAGE SETBACKS	
a. A-street	12 ft. max.	A-street	30 ft. min. or behind building
b. B-street	2 ft. min. – 18 ft. max.	B-street	10 ft. min. with screening per Sec. I
c. Side property line	0 ft. min.	Side property line	0 ft. min.
d. Rear property line	3 ft. min.	Rear property line	3 ft. min.
MINIMUM BUILDING WIDTH		LOT COVERAGE	
A-street	70% min.	Lot coverage by buildings	100% max.
B-street	50 ft. min.	Building width	200 ft. max. ¹
MINIMUM GLASS		FACADE TYPES	
A-street	50% min.	Shopfront	Common entry
B-street	30% min.	Terrace	
Upper floors	15% min.		
HEIGHT			
Building	5 stories max.	Parking structure	4 stories max.

¹ Buildings may be wider than 200 feet if they include a courtyard facing the street that is at least 30 feet deep and 20 feet wide.

Sec. G. Development standards

(1) Site standards.

- a. **Setbacks.** Buildings must be set back from lot boundaries according to [Table 1](#), [Table 2](#), and [Table 3](#).
 1. **Adjustments.** Frontage setbacks may be expanded or reduced by as much as 20 percent to accommodate existing conditions.
 2. **Encroachments.** Building element encroachments are regulated as follows:
 - i. Underground parking within frontage setbacks is not considered an encroachment, provided that the underground structure is not visible from the sidewalk or frontage.
 - ii. In the LI district porches, terraces, balconies and stoops may encroach 50% of the depth of the front setback.
 - iii. In the MI and HI district awnings or canopies may encroach into the ROW to within two feet of the back of the curb. Encroachments must be a minimum of eight feet clear over sidewalks. Encroachments into the ROW must provide a two-foot clearance from the primary trunk of street trees. Balconies may encroach 100% of the depth or the front setback.
 - iv. Eaves, cornices, sills, belt courses and other architectural ornamental features may encroach into the front setback up to 18 inches.
 - v. Door swings may not encroach into the public sidewalk.
 - vi. Commercial activities, including food service and seating, may occupy required yard setbacks. Sidewalk cafes may be allowed subject to approval of a right-of-way use permit.
- b. **Lot coverage.** Lot coverage by buildings is limited to the maximum percentage specified in [Table 1](#), [Table 2](#), and [Table 3](#).
- c. **Buffers.** Buffer strips are not required within intensity zones.

(2) Density. Residential density is determined by the building envelope. Lot area minimums for subdivision and dwelling unit density do not apply.

(3) Building standards.

- a. **Building width.** A minimum building width indicates the length of the property line that must contain a building.
 1. At A-streets, the minimum building width is a percentage of the length of the property line as regulated by [Table 1](#), [Table 2](#), and [Table 3](#).
 2. At B-streets, the minimum building width is a specified distance from the corner of the building as regulated by [Table 1](#), [Table 2](#), and [Table 3](#).
 3. Facades must be within the minimum and maximum setback as regulated by [Table 1](#), [Table 2](#), and [Table 3](#).

4. At corner lots, the calculation applies to both streets relative to their A- or B- designation, as illustrated in [Figure 2](#). B-streets building width requirements are measured from the front face of the building if that is different from the front lot line.
5. Courtyard space, if applicable, counts toward the building width requirement if it is publicly accessible.

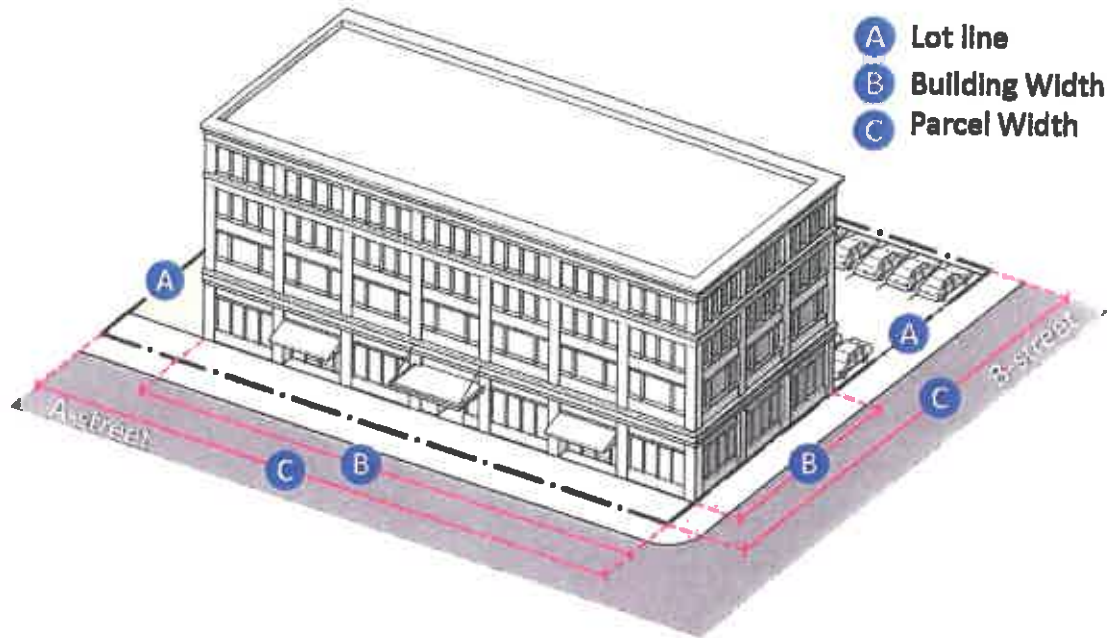


Figure 2. Minimum Building Width Illustration

- b. **Height.** Building heights are measured in stories with the following restrictions:
 1. The maximum height of the building is as specified by [Table 1](#), [Table 2](#), and [Table 3](#).
 2. Stories are measured from finished floor to finished ceiling.
 3. Ground floor stories, from finished floor to finished floor, exceeding 20 feet in height are considered two stories.
 4. Mezzanines exceeding 30% of the ground floor area are considered a story.
 5. Stories above ground floor, from finished floor to finished floor, exceeding 14 feet are considered two stories.
 6. Height limits do not apply to inhabited attics or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads. Attics exceeding 60% of the ground floor area are considered a story.
 7. Edge conditions. Height is limited to the adjacent lot zoning height within 50 feet of the lot line in all intensity zones.
- c. **Facades.** Facade types must be assigned along all streets according to [Table 1](#), [Table 2](#), and [Table 3](#) and the following requirements:
 1. Facade requirements do not apply to elevations facing an alley.

2. The facade must conform to **Table 4. Facade Types**. See Sec. N for facade definitions.
3. The primary building entry must face a street.
 - i. One entry must be provided for every 50 feet of facade leading to habitable space.
 - ii. Buildings on corner lots are exempt from entry frequency requirements if the facade is under 50 feet in length.
4. **Glass.** Street facades must meet the minimum clear glass requirements of **Table 1**, **Table 2**, and **Table 3**.
 - i. Glass percentage is calculated individually for each facade and is measured between two and ten feet in height above grade along the length of the facade.
 - ii. Glass calculations includes doors, windows and storefront systems.
 - iii. Additional glass requirements apply to shopfronts per **Table 4. Facade Types**.
 - iv. Tinted, mirrored and reflective glass, and glass covered by screening sheets, white, or UV protection film are prohibited.
5. Buildings may include multiple facade types along their length, each type no less than 30 feet in width.
6. A shopfront is required for all ground floor retail, office, service and lodging uses in the MI district.
7. Blank walls visible from the public sidewalk may not exceed 40 linear feet.
8. Visible side building facades should have a level of detail, finish and material compatible with the front facade.
9. **Accessory structures.** Accessory structures are not permitted in the front yard and must meet all standards of **Table 1**, **Table 2**, and **Table 3**.
10. **Equipment.** All outdoor electrical, plumbing, and mechanical equipment must be located behind the front facade or concealed from street view with a screen or wall. These facilities may not encroach into any setback.
11. **Drive-through facilities.** Drive-through facilities and lanes must be located behind the principal building.
 - i. Queuing lanes must not interfere with pedestrian circulation.
 - ii. Queuing lanes may not be located in front of the primary building.
 - iii. Drive-through canopies and other structures, where present, must be constructed from the same materials as the primary building, and with the same level of architectural quality and detailing.
- d. **Materials.** Downtown buildings must use durable materials. Durable materials include:
 1. Brick
 2. Stucco, however EIFS is not permitted within 36 inches of finished grade
 3. Heavy timber
 4. Cementitious siding

5. Slate
6. Metal roofing
7. Tile
8. Wood may be used as an accent material and for door and window framing.

Table 4. Facade Types

STOREFRONT	
Entry grade	At sidewalk grade
Requirements	A storefront is required at the primary entrance of each tenant space.
	Storefronts must have 70% ground floor glass rather than the requirements of Table 1, Table 2, and Table 3.
	Display windows may project into frontage setbacks no more than five feet and not beyond the property line.
	Building entries may be recessed from the facade up to a maximum of six feet in depth.
Guidelines	If ground floor grade is above sidewalk grade, the differential should be accommodated within the building.
COMMON ENTRY	
Entry grade	20 in. max from sidewalk grade; at sidewalk grade in MI and HI
Requirements	A collective entry to a multi-tenant lobby is required at the primary building entrance. Additional entries are permitted as necessary.
	Canopies and awnings are permitted to encroach into the setback up to 100% of their depth.
Guidelines	A raised planter may be utilized to the full depth of the front setback.
TERRACE	
Entry grade	Eight in. min. and 24 in. max. above highest adjacent sidewalk grade
Requirements	A terrace is required at building entrances, projecting from the facade.
	A terrace must be a minimum of eight feet deep.
STOOP	
Entry grade	12 in. min., 36 in. max. above sidewalk grade
Requirements	A stoop is required at building entrances, projecting from or recessed into the facade.
	A stoop must be a minimum of five feet in width or depth.
	Wood is prohibited for stoop railings.
	Stairs may be perpendicular or parallel to the building facade.
PORCH	
Entry grade	36 in. max. above sidewalk grade
Requirements	A porch is required at the primary building entrance.
	A porch must be a minimum of 6 feet deep and 10 feet wide.

Sec. H. Use.

Intensity districts are subject to the requirements of [Table 5. Use Matrix](#).

- (1) **Uses not mentioned.** Uses not listed in [Table 5](#) and not prohibited by other laws are permitted should the Building, Engineering & Zoning Director determine them to be similar in nature to and compatible with other uses permitted within the zone; consistent with the stated purpose of the zone and consistent with the policies of the Heart of Homewood Downtown Master Plan.
- (2) **Multiple uses.** Multiple uses within a single site or building are permitted in all intensity districts and areas.
- (3) **Notations.** Intensity districts are subject to the requirements of [Table 5 below](#), where the notations have the following meanings:
 - a. "P" means the use is permitted by right.
 - b. "A" means the use is permitted as an accessory use located on the same lot with a permitted use.
 - c. "R" means the use is allowed upon meeting the conditions set forth in [Table 6. Restrictions per district](#).
 - d. "X" means the use is prohibited.

Table 5. Use Matrix

USE	ZONING DISTRICT		
	LI	MI	HI
RESIDENTIAL			
Single-family detached	P	X	X
Two-family	P	P	X
Three-family	P	P	X
Townhouse	P	P	X
Multi-family, Including senior and assisted living	X	P	R
Live-work	P	P	P
Accessory dwelling	A	A	X
Accessory structures	A	A	A
Group home	X	P	P
Home occupation	A	A	A
Manufactured or mobile home park	X	X	X
LODGING			
Bed and breakfast	P	P	X
Hotel	X	R	P
Motel	X	X	X
OFFICE			
Outpatient medical, dental, research, government service	R	R	P
Professional	R	R	P
RETAIL			
Adult retail	X	X	X
Automotive rental and sale	X	X	X
Bakery	R	P	P

USE	ZONING DISTRICT		
	LI	MI	HI
Bar, pub, tavern, micro-brewery	R	P	P
Optician	P	P	P
Package liquor store	X	P	P
Pharmacy	P	P	P
Restaurant	R	P	P
Retail facility	R	R	R
Specialty shops	P	P	P
SERVICE			
Adult-oriented services	X	X	X
Athletic and health clubs	P	P	P
Automotive service and repair	R	R	X
Business service	R	P	P
Commercial laundry	X	R	R
Crematorium	X	X	X
Day care home	P	P	P
Day care center	R	P	P
Financial institution	R	P	R
Funeral home	X	P	X
Gas station	X	X	P ¹
Hospital	X	X	X
Mini-warehouse	X	X	X
Personal service	P	P	P
Tattoo parlors	X	X	X
Title loans, check cashing, pawn shop	X	X	X
Veterinary clinic without boarding	P	P	X
INSTITUTIONAL			
Art and dance instruction	P	P	P
Club or meeting hall	R	R	R
Convention and exhibition facilities	X	X	X
Cultural, including library, museum, gallery, performing arts center	R	P	P
Religious institutions	R	R	R
EDUCATION			
Elementary school	R	R	X
Middle school	X	X	X
High school	X	X	X
College	X	X	X
ENTERTAINMENT			
Adult entertainment	X	X	X
Indoor sports facility	X	P	P
Outdoor sports facility	X	X	X
Theater, excluding drive-in	X	P	P

¹ Gas stations are permitted if the pumps and parking are located behind the building and the pumps meet the setback requirements.

USE	ZONING DISTRICT		
	LI	MI	HI
MANUFACTURING and WAREHOUSE			
Light manufacturing	X	X	P
Warehouse storage and wholesale distribution	X	X	X
UTILITIES			
Communications facility ¹	X	X	X
Utility facility	X	X	X
NOTATION LEGEND			
Permitted use	P		
Accessory use	A		
Restricted according to Table 6	R		
Prohibited use	X		

(4) Restricted uses. Restricted uses listed in Table 5 above are limited for size or intensity per Table 6.

Table 6. Restrictions per district

USE CATEGORY	LI	MI	HI
Residential	None	Six dwelling units maximum	At least 50% of A-street frontage must have a storefront facade.
Lodging	Six rooms maximum	20 rooms maximum	No maximum
Office	3,000 sq. ft. per floor maximum	6,000 sq. ft. per floor maximum	No maximum
Service & Retail	3,000 sq. ft. maximum; no open storage	10,000 sq. ft. maximum; no open storage	30,000 sq. ft. maximum; no open storage
Institutional	On-site parking may not exceed 20 spaces	On-site parking may not exceed 30 spaces	On-site parking may not exceed 50 spaces
Education	Elementary schools may not exceed five acres unless the playground has neighborhood access during daylight-hours		Not applicable

¹ Except facilities existing at the effective date of adoption of this Article.

Sec. I. Parking.

Off-street parking and loading must be set back from frontages according to [Table 1](#), [Table 2](#), and [Table 3](#) except where parking is located underground, and the following standards.

- (1) **Required parking.** No minimum parking requirements apply in LI, MI or HI districts. Maximum parking requirements restrict some uses in some zones (see [Table 6. Restrictions per district](#)).
- (2) **Access.** Parking access must meet the following standards:
 - a. Driveways are limited to 20 feet in width for two-way and 10 feet in width for one-way travel.
 - b. Access to structured parking may not exceed 24 feet in width when facing a street.
 - c. Sites with alley access must use the alley for access, loading and service.
 - d. Access is restricted to one curb-cut for every 100 feet of frontage.
 - e. Pedestrian access to off-street parking must be provided from frontages via walkways a minimum of six feet in width.
 - f. Curb return radii are not permitted at access points. Driveways must be chamfered to permit the sidewalk grade to remain constant.
- (3) **Parking structure.** The ground floor of any parking structure abutting a public street must have habitable space for a depth of 30 feet facing the street.
 - a. Upper floors must be designed and detailed in a manner consistent with adjacent buildings.
 - b. Entrances must minimize conflict with pedestrian movement.
- (4) **Surface parking.** Parking areas that exceed 120 spaces must include a minimum of six-foot wide pedestrian walkway. The pavement of the walkway must be differentiated from parking area pavement through a change in surface texture, material, style, and/or color.
- (5) **Off-street parking design.** Off-street parking stalls and access aisles must be dimensioned according to [Table 7. Off-street Parking Minimum Dimensions](#).
 - a. Off-street parking facilities must have a minimum vertical clearance of seven feet. If the facility is to be used by trucks or for loading, the minimum clearance is 15 feet.
 - b. Surface parking lots should share access points and circulation with adjacent surface parking lots, subject to a shared access agreement.
 - c. Parking lots must be screened from public streets, sidewalks and paths by a masonry wall or evergreen hedge. The height of the screen must be a minimum of 36 inches and a maximum of 48 inches in height.
 - d. Parking lots should be landscaped with native plants and shade trees to reduce stormwater runoff.
 1. In HI, a landscaped bay with a shade tree must occur at the end of drive aisles and dead-end bays cannot exceed 200' in length.

Table 7. Off-street Parking Minimum Dimensions

ANGLE OF PARKING	aisle: ONE-WAY, SINGLE LOADED	aisle: ONE-WAY, DOUBLE LOADED	aisle: TWO-WAY, DOUBLE LOADED
90 degrees	23 ft. min.	23 ft. min.	23 ft. min.
60 degrees	12.8 ft. min.	11.8 ft. min.	19.3 ft. min.
45 degrees	10.8 ft. min.	9.5 ft. min.	18.5 ft. min.
Parallel	10 ft. min.	10 ft. min.	20 ft. min.
Standard stall	8.5 ft. wide min. and 18 ft. long min., parallel parking width is 8 ft. min.		

(6) **Loading area standards.** Loading docks and service areas are restricted according to the parking and storage setbacks of [Table 1](#), [Table 2](#), and [Table 3](#).

- a. **Required loading area.** On-site loading must be provided for all buildings greater than 50,000 square feet as follows:
 1. Loading bays are required in the amounts specified in [Table 8. Required Loading and Service Bays](#), calculated as the total area for each use category within a building.
 - i. The areas of retail, office and service uses within a single building may be combined per [Table 8. Required Loading and Service Bays](#).
- b. **Loading areas.** Off-street loading and refuse collection must be located and screened so it is not visible from the adjacent public streets or residential uses.
- c. **Location.** Front loading docks are not permitted on A-streets. On-street loading areas are only permitted if rear or side loading areas are not possible due to site constraints.
 1. **B-street location.** Loading docks and service areas may be accessible from the frontage if screened from the adjacent street.

Table 8. Required Loading and Service Bays

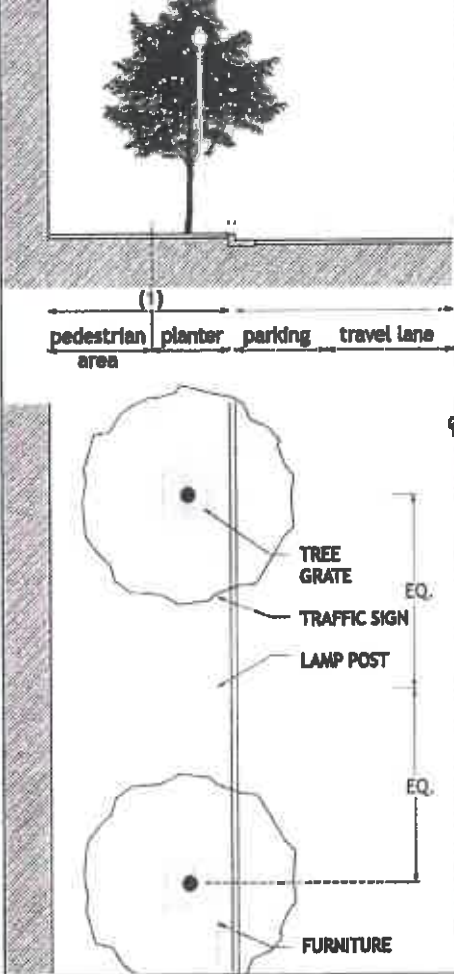
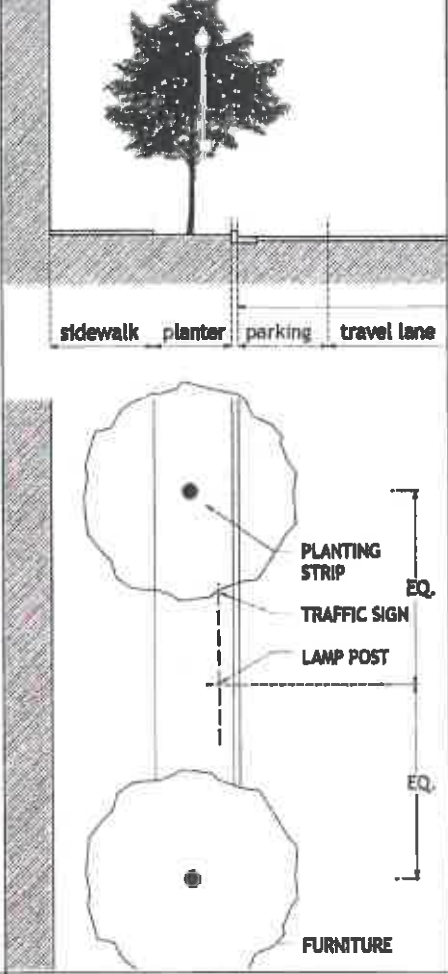
USE	40,000 – 160,000 SQ. FT.	160,001 – 320,000 SQ. FT.	320,001 – 400,000 SQ. FT.	> 400,000 SQ. FT.
Residential	1 / 100 units	1 / 100 units	1 / 100 units	1 / 100 units
Lodging	1 / 300 rooms	1 / 300 rooms	1 / 300 rooms	1 / 300 rooms
General retail, office and service	1	2	3	1 / 180,000 sq. ft.
Institutional and education	1	2	3	1 / 180,000 sq. ft.
Manufacturing and utilities	1	2	3	1 / 180,000 sq. ft.

Sec. J. Streetscape.

The purpose of this section is to implement the Heart of Homewood Downtown Master Plan Mobility and Streetscape policies. The provisions of this section apply to all streetscape improvements in Downtown. Streetscape improvements are required if the applicant area is 100 feet or more in width facing the street.

- (1) Streetscape improvements including sidewalks, planters, and tree spacing must meet the requirements of [Table 9. Streetscape Standards](#). Existing sidewalks and planters must be adjusted to meet the requirements of [Table 9](#).
- (2) Improvements must transition to existing conditions at adjacent properties to preserve pedestrian access and safety.
- (3) Parcels in locations without adjacent sidewalks may pay the value of construction into a fee in lieu fund for Downtown streetscape improvements.
- (4) Pedestrian access. Pedestrian passages should meet the following minimum standards:
 - a. All ADA guidelines apply to pedestrian access.
 - b. Lighting must be provided to ensure safety and security. The following lighting is required in pedestrian passages:
 1. 15-foot maximum height of lighting fixtures.
 2. A minimum of one-foot candle illumination must be maintained throughout the passage.

Table 9. Streetscape Standards

ZONING DISTRICT	MI, HI	U
Streetscape Illustration		
(1) Sidewalk width	12 ft. min. including planter and pedestrian area	5 ft. min.
Pedestrian area width	8 ft. min.	See sidewalk width
Planter size	4 ft. by 6 ft min.	5 ft. by 14 ft. min.
Tree spacing	40 ft. on center average, adjusted to accommodate shopfront needs	30 – 40 ft. on center
Parking lane width	8 ft. from front of curb	8 ft. from front of curb

Sec. K. Signs.

This section establishes the standards for the number, size, placement and physical characteristics of on-premise signs visible from a public sidewalk or adjacent property. These regulations do not restrict the content of on-premise signs nor signs invisible from a public sidewalk or adjacent property. The purpose of this section is to assure the scale and character of signs is appropriate to a walkable, mixed-use downtown. This section replaces the City of Homewood, Alabama Sign Ordinance for Downtown.

- (1) Severability.** The provisions of these regulations are severable, and should any provision be held by a court of competent jurisdiction to be invalid, these regulations in their entirety and remaining parts, other than the part so held to be invalid, remain valid.
- (2) Permits required.** All Downtown signs with the exception of the following require a sign permit.
 - a. A-frame ground sign. See [Table 10. General Sign Restrictions](#).
 - b. Informational sign. This sign may not exceed four square feet in area and may include the names, addresses of the occupant.
 - c. Official sign. This type may include legal notices required by law, warning signs, signs erected by a governmental agency or public utility and historical markers.
 - d. Directional sign. This sign may indicate bus stops, taxi stands, off-street parking or loading facilities, and similar directional information. This sign may not exceed four square feet in area.
 - e. Temporary signs. Not more than one temporary sign is permitted per frontage and may not exceed 32 square feet in area. Temporary signs must be removed within 48 hours after the event. Temporary signs may not be displayed longer than the event or 30 days. Temporary signs shall not be permitted more than twice in any calendar year.
- (3) Nonconforming signs.** General restrictions on nonconforming signs.
 - a. If a sign displays or advertises information or activity that is not current, is in a state of disrepair or is left blank for a continuous period of 30 days, it is considered abandoned and within 30 days after abandonment the owner of the property must remove or replace the sign or the message.
 - b. Illumination may not be added to a nonconforming sign.
 - c. A nonconforming sign may not be replaced except to bring it into complete conformance with this section.
 - d. If a sign is removed or damaged to the extent that the cost of restoration exceeds 50 percent of the original value of the sign it must be removed or brought into complete conformance with this section.
- (4) Prohibited signs.** Signs with the following features are prohibited:
 - a. Off-premise signs;
 - b. Signs utilizing animation or which contain the optical illusion of sign movement;
 - c. Signs incorporating noisy mechanical devices or emitting smoke or steam.
 - d. Inflatable signs, such as but not limited to balloons, gas inflated signs or similar signs;
 - e. Portable signs, except a-frame ground signs;

- f. Flags, banners or streamers;
- g. Yard signs;
- h. Any unsafe sign.

(5) Permitted signs and restrictions. Permitted sign types are limited by district and the following restrictions according to [Table 10. General Sign Restrictions](#) and [Table 11. Specific Sign Regulations and Illustrations](#):

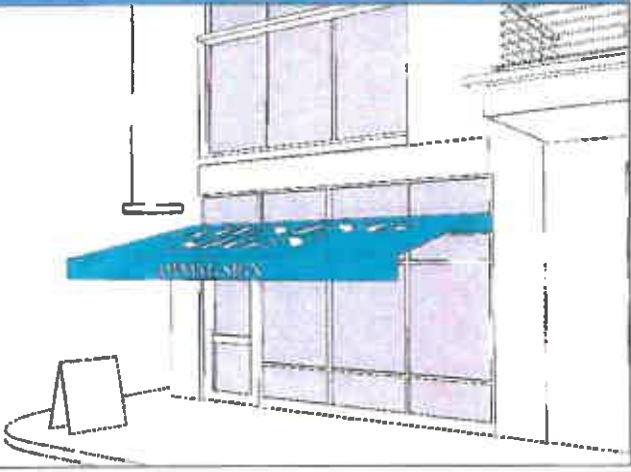
- a. The number of signs per type;
- b. The area of signs;
- c. The height of sign copy.
- d. All signs must meet the following clearance:
 - 1. Minimum eight feet clear over sidewalks;
 - 2. Minimum 10 feet clear over vehicular areas.
- e. All signs may be double-sided by right, if the configuration of the sign permits. The second side does not affect the calculation of height and width.
- f. Illuminated signs are permitted as follows:
 - 1. All signs may be illuminated by an external light source.
- g. Notations. Notations in [Table 10](#) have the following meanings:
 - 1. "P" means the sign is permitted.
 - 2. "X" means the sign is prohibited.

Table 10. General Sign Restrictions

SIGN TYPE	LI	MI	HI	SIGN NUMBER	MAX. SIGN AREA	MAX. COPY HEIGHT
PROJECTING SIGNS						
Awning	P	P	P	1 sloping panel plus 1 valence per awning	75% of sloping panel; 85% of valence	16 in. on sloping panel; 8 in. on valence
Canopy	X	P	P	1 per canopy	2 sq. ft. per linear foot of storefront	30 in. max.
Projecting	P	P	P	1 per tenant	9 sq. ft.	8 in.
Marquee	X	P	P	1 per building	40 sq. ft.	n/a
Sculptural	P	P	P	1 per tenant	12 sq. ft.	n/a
WALL SIGNS						
Wall mounted	X	P	P	1 per storefront	3 sq. ft. per 1 linear foot up to 90% of the width of the storefront	24 in.
Window	P	P	P	n/a	50% of glazed area, neon is limited to 24 in. in width by 12 in. in height	12 in.
GROUND SIGNS						
Monument	P	X	P	1 per frontage	30 sq. ft.	12 in.
Pole	X	X	X	n/a	n/a	n/a
Sidewalk ¹	X	P	X	1 per tenant	6 sq. ft.	n/a

¹ Sidewalk signs may not block the pedestrian area of the sidewalk.

Table 11. Specific Sign Regulations and Illustrations

AWNING SIGN		
Requirements	a. Valence sign area must maintain a one-inch border.	 The illustration shows a storefront with large glass windows. A blue awning sign is mounted over the windows. The sign has the word 'AWNING SIGN' written on it. A small white sign on a stand is visible on the sidewalk in front of the awning.
CANOPY SIGN		
Requirements	a. Canopy signs may be externally illuminated or neon. b. Fixtures must be shielded to prevent glare. c. Conduit, raceways and wiring may not be exposed to view from the sidewalk.	 The illustration shows a storefront with large glass windows. A blue canopy sign is mounted over the windows. The sign has the words 'CANOPY SIGN' written on it. A small white sign on a stand is visible on the sidewalk in front of the canopy.
PROJECTING SIGN		
Requirements	a. Projecting signs may project up to three feet from the facade.	 The illustration shows a storefront with large glass windows. A blue projecting sign is mounted on the facade, extending outwards. The sign has the words 'PROJECTING SIGN' written on it. A small white sign on a stand is visible on the sidewalk in front of the projecting sign.

MARQUEE SIGN

Requirements

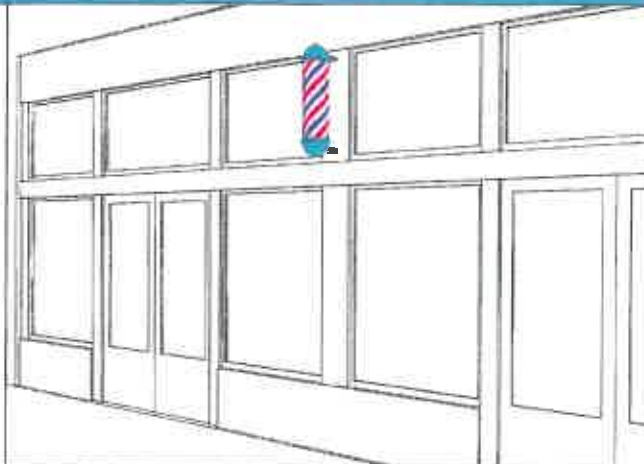
- a. Marquee signs may occur parallel to the facade or at the corner of the building permitted only on buildings over one story in height.
- b. Sign may extend up to 6 feet above the parapet.
- c. Bottom of the sign must be 12 feet above the sidewalk.



SCULPTURAL SIGN

Requirements

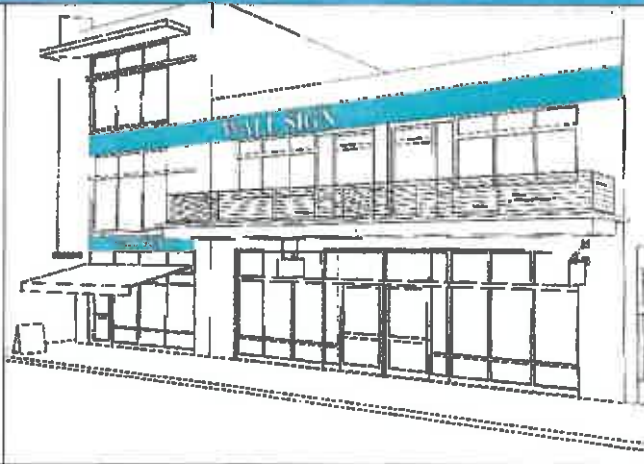
- a. Projecting signs may include painted, vinyl or extruded copy or graphics on a sculptural object.
- b. Sign may be attached to wall, parapet or roof of a building and must include a supporting structure which is not computed as part of the allowable sign area.



WALL MOUNTED SIGN

Requirements

- a. Wall mounted signs may be externally illuminated.
- b. Fixtures must be shielded to prevent glare.
- c. Conduit, raceways and wiring may not be exposed.



WINDOW SIGN

Requirements

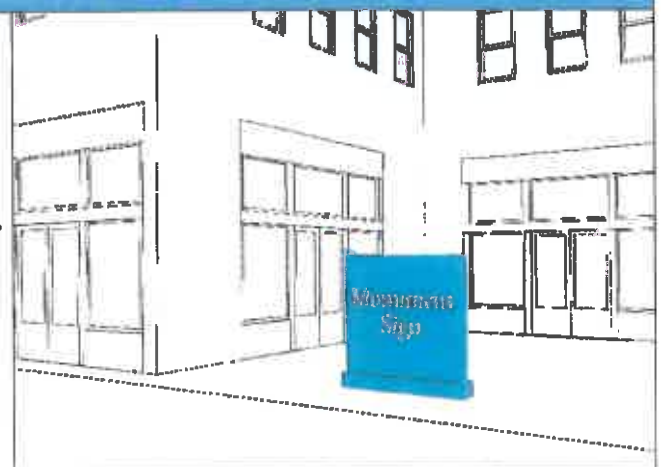
- a. The following window signs are permitted: letters painted directly on the window, neon signs, LED signs, hanging signs behind the glass, and vinyl applique letters applied to the window. Appliques must consist of individual letters or graphics with no visible background.



MONUMENT SIGN

Requirements

- a. Sign height may not exceed 6 ft.
- b. Sign width may not exceed 5 ft.
- c. Sign must comply with setbacks for the zoning district.
- d. Monument signs must be constructed of durable materials.



SIDEWALK SIGN

Requirements

- a. Sign height may not exceed 42 in.
- b. Sign width may not exceed 20 in.
- c. Sign may not be located within the pedestrian area of the sidewalk. See [Table 9](#).



Sec. L. Open Space.

Publicly-accessible open space is required for development applications exceeding one net acre in the HI district. City Council has the discretion to waive this requirement for hardship. Open space development is subject to the following standards.

- (1) A minimum of five percent of the gross lot area is required. Lot consolidation areas are calculated as the sum of the lots.
- (2) The open space requirement may be satisfied by the payment of a fee in lieu of the dedication. This fee will be only be used for streetscape improvements for a-grid streets or public open space within the HI district. Expenditure of such fees will only be through the capital budget and program appropriations by the City Council.
 - a. The fee in lieu of dedication of open space will be determined by multiplying the assessed value of the land per acre by the gross land area required.
- (3) Open space dedicated to the City will be developed according to [Table 12. Public Open Space](#).
- (4) Buildings, or expansions of existing buildings, under 3,500 square feet (sq. ft.) are exempt from required open space.
- (5) Private open space is required for developments that include residential as follows:
 - a. 10 percent of residential unit floor area is required in open space and may be any combination of shared or private open space.
 - b. Open space must be built when the development occurs.
 - c. Amenities provided within the open space, such as benches, planters, art and water features, will be maintained by the owner for the life of the project.

Table 12. Public Open Space

CATEGORY	REGULATION	ILLUSTRATION
Size	Five percent of the gross lot area above one acre.	
Dimensions	No side may be less the 30 feet in length	
Edge condition	One side, at a minimum must front a street	
Surface	Pervious pavement, landscape or a combination. Shade much be provided for 1/3 of the area at a minimum.	

Sec. M. Administration and Process.

The provisions of this ordinance will be administered and enforced by the building official of the city, who has the right to enter upon any premises at any reasonable time for the purpose of making inspections of land or structures necessary to carry out the enforcement of this ordinance.

- (1) **Zoning amendments.** Zoning amendments must follow the process in Article IX. Sec. B. In addition to those requirements, the applicant must provide a statement as to how the re-zoning request is consistent with the Heart of Homewood Downtown Master Plan.
- (2) **Building permits.** All building permits are revocable, subject to continued compliance with all the requirements and conditions of this article. Any permit issued in conflict with the provisions of this article are null and void. Building permits are required for any excavation or construction. Until the building official of the city has issued a building permit, it is unlawful to: a. commence earthwork, or b. commence construction of any building or other structure, including accessory structures or signs, or c. store building materials or erect temporary field offices, or d. commence the moving, alteration or repair of any structure.
 - a. **Building permit applications.** It is unlawful for the building official of the city to approve any plans or issue a building permit until the official has inspected the plans in detail and found them in conformity with this article. No building permit will be issued for any structures in Downtown until authorized by the zoning administrator. All building permit processes are subject to the requirements of the adopted building code for the city. All plans submitted with a building permit application must contain the following:
 1. Location, size, dimensions and current zoning of the site.
 2. The use(s), location, size, and height of all existing and proposed structures on the site with dimensioned setbacks in compliance with Table 1, Table 2, and Table 3 including:
 - i. Dimensions of minimum building width in compliance with Table 1, Table 2, and Table 3.
 - ii. Calculation of lot coverage by buildings in compliance with Table 1, Table 2, and Table 3.
 3. All easements and rights-of-way.
 4. The setback and side lines of buildings on adjoining property, and other information concerning the lot or adjacent property as may be required for determining conformance with the provisions of this article.
 5. Elevations of all building facades that face the street including:
 - i. Assignment of facade types according to Sec. G (3)c and Table 4. Facade Types.
 - ii. Calculation of minimum glass in compliance with Table 1, Table 2, and Table 3.
 6. The location and number of parking spaces, setbacks dimensioned, street screens if applicable, and well as points of ingress and egress.
 7. All streetscape improvements, if applicable.
 8. The location and points of ingress and egress for loading docks, if applicable.
 9. The location, dimensions and types of all exterior signs.

10. Open space plan or calculation of fee in lieu, if applicable.
11. A development schedule indicating the approximate date when construction of the development or its stages can be expected to begin.

b. Waivers and interpretation review

1. **Scope:** A waiver from a provision of this article may be granted by the zoning administrator when the strict application of the provision would require work by the permit holder detrimental to the purposes of this chapter as described in [Sec. A Purpose](#).
 2. **Standards:** A waiver will not be granted unless:
 - i. The waiver is in harmony with the intent, the purposes, and the provisions of this article from which the waiver is requested. A waiver will not be granted unless this standard is first met.
 - ii. The waiver will not be materially detrimental to the rights of owners and residents of other affected properties; and
 - iii. The waiver is the minimum necessary to afford relief;
 - iv. A waiver may not be granted for use.
 - v. A dimensional waiver may not exceed a 20% difference from the required standard.
 3. **Conditions:** Conditions may be imposed on a waiver that will:
 - i. Secure the intent, the purposes, and the provisions of this article from which the waiver is granted; and
 - ii. Provide adequately for the protection of surrounding property owners and residents.
 4. **Application:** The request for a waiver must be made on a form provided by the zoning administrator and will be determined within 30 days.
 5. **Denial:** If the zoning administrator denies the waiver, the applicant may request a variance from the Board of Zoning Appeals.
- c. Commencement of construction.** After a pre-construction conference with the building official, the installation of all required erosion control devices and the issuance of a grading permit, site grading may begin. A foundation survey and staking may be required at the discretion of the building official.
- d. Expiration.** Individual lot site plan approvals and building permits issued in accordance with the provisions of this section become void six (6) months after the date of issue, if the construction for which it was issued has not started or if activity toward construction ceases for a period of six (6) months.

(3) Approval authority. [Table 13. Approval Authority](#) outlines the authority and appeal authority for this article.

- a. The following positions and bodies are listed in a hierarchy in which each one provides an action of authority over the proceeding one, where the notations have the following meanings:
 1. "S" means staff has administrative approval authority.

2. "R" means the entity has the responsibility to review the issue and make a statement of findings.
3. "A" means the entity has the responsibility to approve the issue.
4. "X" means the entity is the source of appeal for a prior decision.

Table 13. Approval Authority

	REVIEW AUTHORITY				
	BUILDING OFFICIAL	ZONING ADMINISTRATOR	PLANNING COMMISSION	CITY COUNCIL	BOARD OF ADJUSTMENT
ADMINISTRATIVE					
Verification of zoning compliance		S			X
Building permit	S	R			X
Interpretation		S			
APPLICATION REVIEW					
Rezoning		R	R	A	
Uses on appeal					A
Waiver requests		A			
Variance requests					A
SPECIAL PERMITS					
Use of public sidewalk		R	A		X
Temporary use permit		R	A		X
LEGISLATIVE					
Zoning reclassification		R	R	A	
Zoning text amendment		R	R	A	

Sec. N. Definitions.

The definitions for this Article are found in Article II and Article IV Sec. EE and include the following new terms.

Common entry: a facade that provides a single collective entry to a lobby at the primary building entrance. This type is common to residential and office uses. See [Table 4. Facade Types](#) and the illustration to the right.



Pedestrian area: The portion of a MI and HI sidewalk dedicated to pedestrian use. This occurs between the planters and the face of the building. The planter area may also be used for utilities, furnishing and ground signs, but the pedestrian area must be kept clear for circulation.

Porch: a facade common to single-family houses and townhouses where the building is set back from the front lot line and a porch encroaches into the front setback. The porch should be a minimum of six feet in depth. See [Table 4. Facade Types](#) and the illustration to the right.



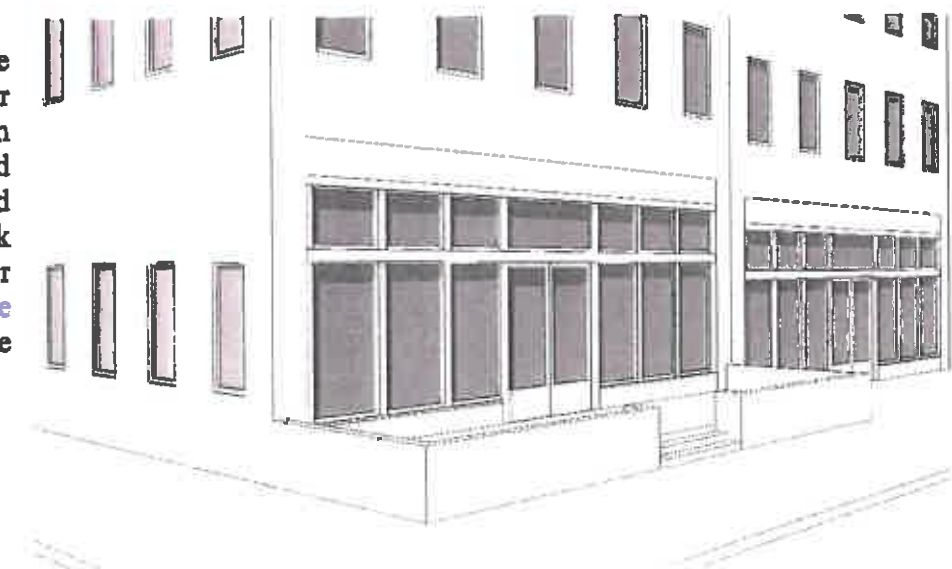
Stoop: a facade common to ground floor residential use, where the building is aligned close to the front lot line and the first story is elevated from the sidewalk to provide privacy for the windows. The entrance includes a stair and landing that may be external or recessed. The stairs may be parallel to or perpendicular to the facade. See [Table 4. Facade Types](#) and the illustration to the right.



Storefront: a facade common to retail use, with substantial glass and may include an awning or canopy. The facade is aligned close to the front lot line with the building entrance at sidewalk grade. See [Table 4. Facade Types](#) and the illustration to the right.



Terrace: a facade that may be used for either commercial or residential uses that is set back from the front lot line by an elevated terrace. This type buffers ground floor residential from the sidewalk or provides semi-private space for outdoor cafes. See [Table 4. Facade Types](#) and the illustration to the right.



Section 2. That the Zoning Map of the City of Homewood is hereby amended to include the Zoning Map for the Downtown District as set out in Figure 1 of Section C of this Article, which zoning map is attached hereto as Exhibit A and incorporated into the existing Zoning Map of the City of Homewood.

Section 3. That the parcels of property listed in Exhibit B are hereby taken out of their current Homewood Zoning District and rezoned to the Downtown Low Intensity District (LI). Following the enactment of this Ordinance, the uses and restrictions applicable to the Downtown Low Intensity District (LI) shall govern and control the uses made of and permitted on the property listed in Exhibit B.

Section 4. That the parcels of property listed in Exhibit C are hereby taken out of their current Homewood Zoning District and rezoned to the Downtown Medium Intensity District (MI). Following the enactment of this Ordinance, the uses and restrictions applicable to the Downtown Medium Intensity District (MI) shall govern and control the uses made of and permitted on the property listed in Exhibit C.

Section 5. That the parcels of property listed in Exhibit D are hereby taken out of their current Homewood Zoning District and rezoned to the Downtown High Intensity District (HI). Following the enactment of this Ordinance, the uses and restrictions applicable to the Downtown High Intensity District (HI) shall govern and control the uses made of and permitted on the property listed in Exhibit D.

Section 6. That all other provisions of Appendix A entitled "Zoning" and the Zoning Map for the City of Homewood, except as set out hereinabove, shall remain in full force and effect and shall not be affected by this amendment.

Section 7. That on **December 9, 2019, at 6:00 o'clock P.M.**, in the City Hall of the City of Homewood, Alabama, be, and the same hereby is, fixed as the time when, and the place where, the City Council will hold a public hearing on said proposed amendment of said ordinance, at which time, all interested parties may appear and be heard.

Section 8. That if any part, provision, or section of this ordinance is declared to be unconstitutional or invalid by any court of competent jurisdiction, all other parts, provisions or sections of this ordinance not thereby affected shall remain in full force and effect.

Section 9. This Ordinance shall become immediately effective upon its adoption by the City Council and approval by the Mayor or as otherwise becoming law.

ADOPTED this the _____ day of _____, 2019.

President of Council

APPROVED:

Mayor

ATTEST:

City Clerk

This notice posted: October 10, 2019

At the following locations: Mayor's Office (City Hall), Homewood Public Library, Homewood Senior Center (Oak Grove Road) and Lee Community Center (Rosedale)

And at www.homewoodal.net.

Exhibit A

Parcels

Parcels to be Rezoned to

- LI Downtown Low Intensity District
- MI Downtown Medium Intensity District
- HI Downtown High Intensity District

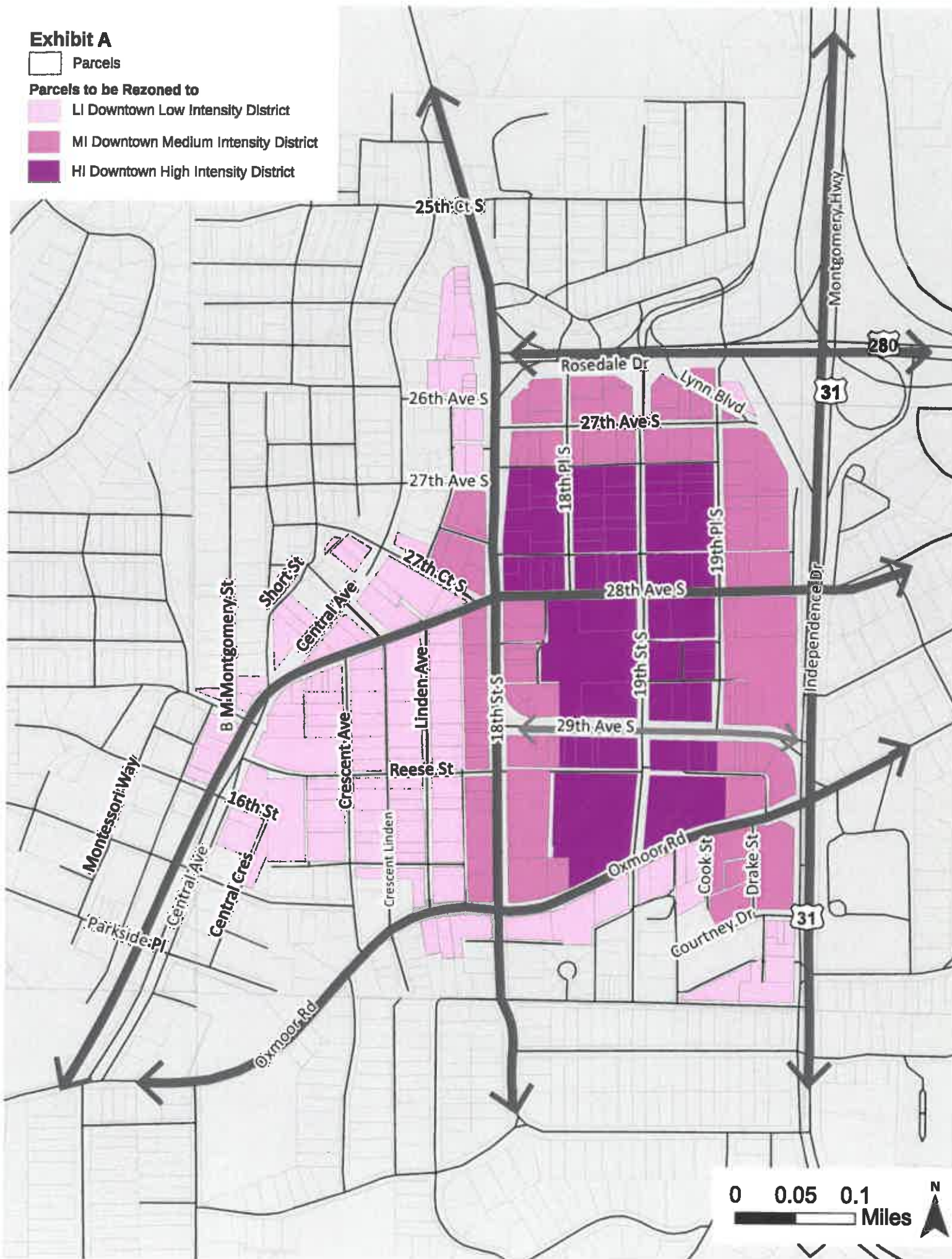


Exhibit B
Parcels to be Rezoned to Downtown Low Intensity District (LI)

	Property Address	Parcel ID		Property Address	Parcel ID
1	2544 18TH ST S	28 00 07 2 010 021.000	46	2828 CENTRAL AVE	28 00 07 3 024 001.000
2	2548 18TH ST S	28 00 07 2 010 020.000	47	2829 CENTRAL AVE	28 00 07 3 026 002.000
3	2552 18TH ST S 200	28 00 07 2 010 018.000	48	2901 CENTRAL AVE	28 00 07 3 026 003.000
4	2558 18TH ST S	28 00 07 2 010 009.001	49	2907 CENTRAL AVE 209	28 00 07 3 026 004.000
5	2562 18TH ST S 100	28 00 07 2 010 012.000	50	3000 COOK ST	28 00 07 3 032 004.000
6	2564 18TH ST S	28 00 07 2 010 011.000	51	3006 COOK ST	28 00 07 3 032 003.000
7	2600 18TH ST S	28 00 07 3 005 001.000	52	1913 COURTNEY DR	28 00 07 3 032 019.002
8	2630 18TH ST S	28 00 07 3 005 010.000	53	1915 COURTNEY DR	28 00 07 3 032 019.001
9	1728 26TH AVE S	28 00 07 2 010 009.000	54	1919 COURTNEY DR	28 00 07 3 032 019.000
10	1731 26TH AVE S	28 00 07 3 005 002.000	55	2804 CRESCENT AVE	28 00 07 3 023 013.000
11	1736 26TH AVE S	28 00 07 2 010 010.000	56	2805 CRESCENT AVE	28 00 07 3 022 002.000
12	1715 27TH CT S	28 00 07 3 012 005.000	57	2806 CRESCENT AVE	28 00 07 3 023 012.000
13	1717 27TH CT S	28 00 07 3 009 029.000	58	2808 CRESCENT AVE	28 00 07 3 023 011.000
14	1717 27TH CT S	28 00 07 3 009 030.000	59	2809 CRESCENT AVE	28 00 07 3 022 003.000
15	1718 27TH CT S	28 00 07 3 013 005.000	60	2810 CRESCENT AVE	28 00 07 3 023 010.000
16	1720 27TH AVE S	28 00 07 3 005 009.000		2811 CRESCENT AVE	
17	1700 28TH AVE S	28 00 07 3 011 005.000	61	211	28 00 07 3 022 004.000
18	1701 28TH AVE S	28 00 07 3 023 005.000	62	2813 CRESCENT AVE	28 00 07 3 022 005.000
19	1704 28TH AVE S	28 00 07 3 011 004.000	63	2815 CRESCENT AVE	28 00 07 3 022 006.000
20	1715 28TH AVE S	28 00 07 3 023 001.000	64	2817 CRESCENT AVE	28 00 07 3 022 007.000
21	1716 28TH AVE S	28 00 07 3 011 002.000	65	2819 CRESCENT AVE	28 00 07 3 022 007.001
22	1717 28TH AVE S	28 00 07 3 022 001.000	66	2900 CRESCENT AVE	28 00 07 3 026 017.000
23	1720 28TH AVE S	28 00 07 3 011 001.000	67	2901 CRESCENT AVE	28 00 07 3 027 001.000
24	1722 28TH AVE S	28 00 07 3 012 008.000	68	2904 CRESCENT AVE	28 00 07 3 026 016.000
25	1725 28TH AVE S	28 00 07 3 022 013.000	69	2905 CRESCENT AVE	28 00 07 3 027 002.000
26	1726 28TH AVE S	28 00 07 3 012 007.000	70	2906 CRESCENT AVE	28 00 07 3 026 015.000
27	1729 28TH AVE S	28 00 07 3 021 001.001	71	2907 CRESCENT AVE	28 00 07 3 027 003.000
28	1736 28TH AVE S	28 00 07 3 012 005.001	72	2908 CRESCENT AVE	28 00 07 3 026 014.000
29	1729 28TH CT S	28 00 07 3 012 001.000	73	2909 CRESCENT AVE	28 00 07 3 027 004.000
30	1628 29TH CT S 110	28 00 07 3 026 006.000		2910 CRESCENT AVE	
	2790 B M		74	110	28 00 07 3 026 012.000
31	MONTGOMERY ST	28 00 07 3 008 001.000	75	2911 CRESCENT AVE	28 00 07 3 027 005.000
32	2708 CENTRAL AVE	28 00 07 3 009 028.000	76	2915 CRESCENT AVE	28 00 07 3 027 006.000
33	2720 CENTRAL AVE	28 00 07 3 009 025.000	77	2923 CRESCENT AVE	28 00 07 3 027 007.000
34	2724 CENTRAL AVE	28 00 07 3 009 024.000	78	1920 HUNTINGTON RD	28 00 07 3 032 012.000
35	2726 CENTRAL AVE	28 00 07 3 009 023.000	79	1928 HUNTINGTON RD	28 00 07 3 032 013.000
36	2728 CENTRAL AVE	28 00 07 3 009 022.000	80	1932 HUNTINGTON RD	28 00 07 3 032 014.000
37	2732 CENTRAL AVE	28 00 07 3 009 021.000		3036 INDEPENDENCE DR	
38	2736 CENTRAL AVE	28 00 07 3 009 018.000	81	100	28 00 07 3 032 018.000
39	2740 CENTRAL AVE	28 00 07 3 009 019.000	82	3040 INDEPENDENCE DR	28 00 07 3 032 017.000
40	2807 CENTRAL AVE	28 00 07 3 023 006.000	83	3048 INDEPENDENCE DR	28 00 07 3 032 016.000
41	2809 CENTRAL AVE	28 00 07 3 023 007.000	84	2811 LINDEN AVE	28 00 07 3 021 001.000
42	2813 CENTRAL AVE	28 00 07 3 023 008.000	85	2814 LINDEN AVE	28 00 07 3 022 012.000
43	2820 CENTRAL AVE	28 00 07 3 024 004.000	86	2815 LINDEN AVE	28 00 07 3 021 002.000
44	2821 CENTRAL AVE	28 00 07 3 023 009.001	87	2817 LINDEN AVE	28 00 07 3 021 002.001
45	2824 CENTRAL AVE 150	28 00 07 3 024 002.000	88	2819 LINDEN AVE	28 00 07 3 021 003.000

Exhibit B
Parcels to be Rezoned to Downtown Low Intensity District (LI)

	Property Address	Parcel ID		Property Address	Parcel ID
89	2820 LINDEN AVE	28 00 07 3 022 011.000	107	2916 LINDEN AVE	28 00 07 3 027 012.000
90	2823 LINDEN AVE	28 00 07 3 021 004.000	108	2917 LINDEN AVE	28 00 07 3 028 004.000
91	2824 LINDEN AVE	28 00 07 3 022 010.000	109	2919 LINDEN AVE	28 00 07 3 028 005.001
92	2827 LINDEN AVE	28 00 07 3 021 005.000	110	1743 OXMOOR RD	28 00 07 3 034 003.000
93	2828 LINDEN AVE	28 00 07 3 022 009.000	111	1746 OXMOOR RD	28 00 07 3 027 011.000
94	2829 LINDEN AVE	28 00 07 3 021 006.000	112	1747 OXMOOR RD 101	28 00 07 3 034 003.001
95	2831 LINDEN AVE	28 00 07 3 021 007.000	113	1754 OXMOOR RD	28 00 07 3 028 005.000
96	2832 LINDEN AVE	28 00 07 3 022 008.000	114	1755 OXMOOR RD	28 00 07 3 034 001.000
97	2833 LINDEN AVE	28 00 07 3 021 008.000	115	1801 OXMOOR RD	28 00 07 3 033 004.000
98	2900 LINDEN AVE	28 00 07 3 027 018.000	116	1809 OXMOOR RD 101	28 00 07 3 033 002.000
99	2902 LINDEN AVE	28 00 07 3 027 017.000	117	1817 OXMOOR RD	28 00 07 3 033 001.000
100	2904 LINDEN AVE	28 00 07 3 027 017.001	118	1901 OXMOOR RD	28 00 07 3 032 007.000
101	2905 LINDEN AVE	28 00 07 3 028 002.000	119	1903 OXMOOR RD	28 00 07 3 032 006.000
102	2906 LINDEN AVE	28 00 07 3 027 016.000	120	1905 OXMOOR RD	28 00 07 3 032 005.000
103	2910 LINDEN AVE	28 00 07 3 027 015.000	121	1690 REESE ST	28 00 07 3 023 009.000
104	2911 LINDEN AVE	28 00 07 3 028 003.000	122	1707 REESE ST	28 00 07 3 026 001.000
105	2912 LINDEN AVE	28 00 07 3 027 014.000	123	1735 REESE ST	28 00 07 3 028 010.000
106	2914 LINDEN AVE	28 00 07 3 027 013.000			

LI Downtown Low Intensity District

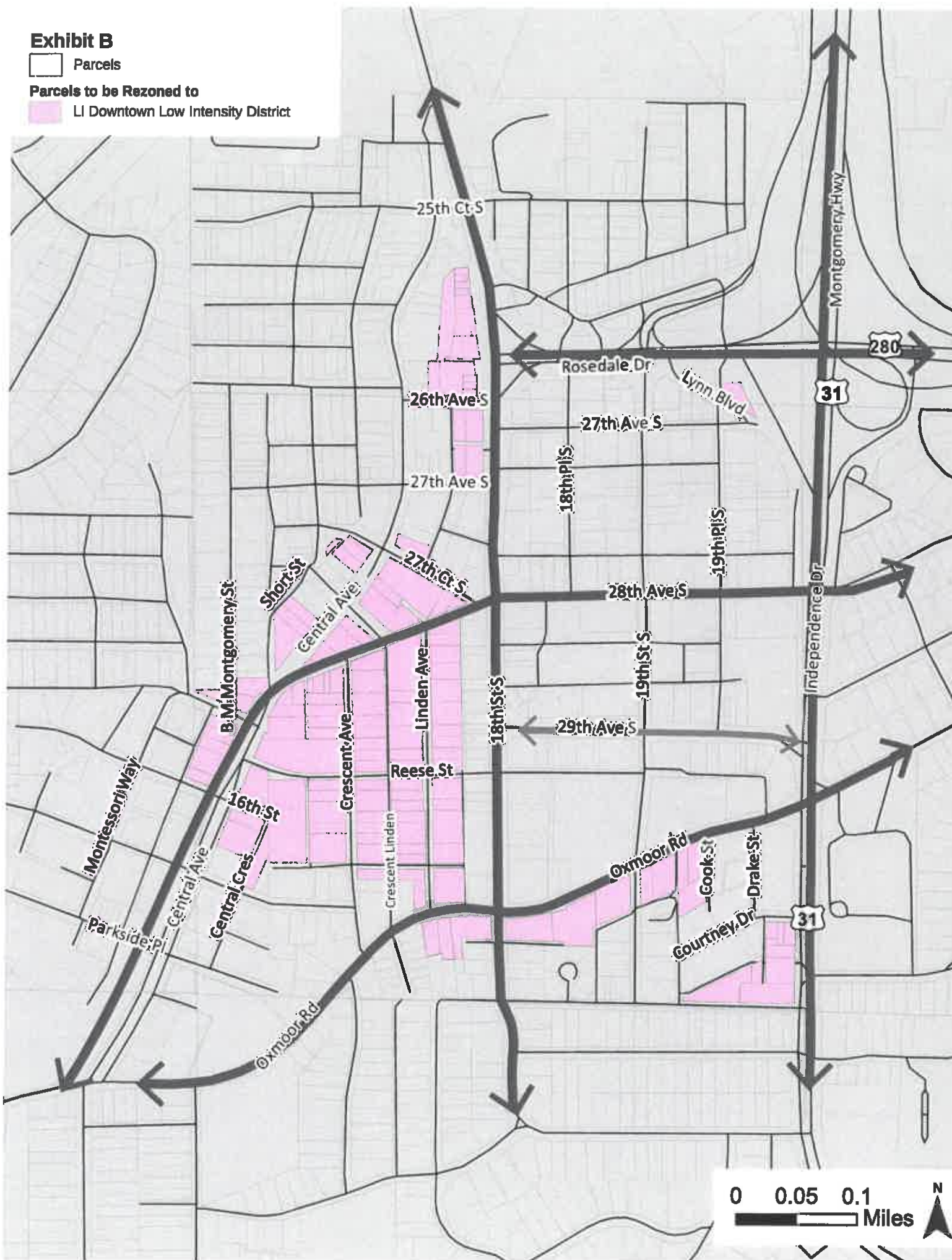


Exhibit C
Parcels to be Rezoned to Downtown Medium Intensity District (MI)

	Property Address	Parcel ID		Property Address	Parcel ID
1	2601 18TH ST S	28 00 07 3 004 001.000	48	2713 19TH PL S	28 00 07 3 017 004.000
2	2601 18TH ST S JOINT	28 00 07 2 026 001.000	49	2717 19TH PL S	28 00 07 3 017 005.000
3	2701 18TH ST S	28 00 07 3 014 003.000	50	2721 19TH PL S	28 00 07 3 017 006.000
4	2703 18TH ST S	28 00 07 3 014 004.000	51	2727 19TH PL S T1	28 00 07 3 017 007.000
5	2710 18TH ST S	28 00 07 3 013 001.000	52	2729 19TH PL S	28 00 07 3 017 008.000
6	2724 18TH ST S	28 00 07 3 013 010.000	53	2610 19TH ST S	28 00 07 2 025 004.000
7	2730 18TH ST S	28 00 07 3 013 009.000	54	2614 19TH ST S	28 00 07 3 003 002.000
8	2738 18TH ST S 104	28 00 07 3 013 008.000	55	2704 20TH ST S 100	28 00 07 3 017 017.000
9	2800 18TH ST S	28 00 07 3 021 022.001	56	2710 20TH ST S	28 00 07 3 017 015.000
10	2801 18TH ST S 101	28 00 07 3 020 006.000	57	2712 20TH ST S	28 00 07 3 017 014.000
11	2808 18TH ST S	28 00 07 3 021 022.000	58	2714 20TH ST S	28 00 07 3 017 013.000
12	2814 18TH ST S	28 00 07 3 021 021.000	59	2718 20TH ST S U1	28 00 07 3 017 012.000
13	2815 18TH ST S	28 00 07 3 020 007.000	60	1723 27TH AVE S	28 00 07 3 013 002.000
14	2817 18TH ST S 100	28 00 07 3 020 008.000	61	1812 27TH AVE S	28 00 07 3 004 002.000
15	2818 18TH ST S	28 00 07 3 021 020.001	62	1813 27TH AVE S	28 00 07 3 014 002.000
16	2823 18TH ST S	28 00 07 3 020 009.000	63	1817 27TH AVE S	28 00 07 3 014 001.000
17	2825 18TH ST S	28 00 07 3 020 010.000	64	1821 27TH AVE S	28 00 07 3 015 003.000
18	2826 18TH ST S	28 00 07 3 021 019.000	65	1823 27TH AVE S	28 00 07 3 015 002.000
19	2827 18TH ST S	28 00 07 3 020 011.000	66	1833 27TH AVE S	28 00 07 3 015 001.000
20	2830 18TH ST S	28 00 07 3 021 018.000	67	1901 27TH AVE S	28 00 07 3 016 002.001
21	2834 18TH ST S	28 00 07 3 021 017.000	68	1911 27TH AVE S	28 00 07 3 016 002.000
22	2835 18TH ST S	28 00 07 3 020 012.001	69	1920 27TH AVE S	28 00 07 3 002 003.000
23	2836 18TH ST S	28 00 07 3 021 016.000	70	1920 27TH AVE S JOINT1	28 00 07 3 002 002.000
24	2837 18TH ST S	28 00 07 3 020 012.701	71	1920 27TH AVE S JOINT2	28 00 07 3 002 004.000
25	2842 18TH ST S	28 00 07 3 021 015.000	72	1724 27TH CT S	28 00 07 3 013 006.000
26	2844 18TH ST S	28 00 07 3 021 014.000	73	1726 27TH CT S	28 00 07 3 013 007.000
27	2846 18TH ST S	28 00 07 3 021 013.000	74	1900 27TH ST S 201	28 00 07 3 002 001.000
28	2852 18TH ST S	28 00 07 3 021 011.000	75	1913 28TH AVE S	28 00 07 3 018 003.000
29	2856 18TH ST S	28 00 07 3 021 010.000	76	1914 28TH AVE S	28 00 07 3 017 009.000
30	2901 18TH ST S	28 00 07 3 029 008.000	77	1916 28TH AVE S 983451	28 00 07 3 017 010.000
31	2902 18TH ST S 100	28 00 07 3 028 011.001	78	1919 28TH AVE S 133	28 00 07 3 018 001.000
32	2904 18TH ST S	28 00 07 3 028 008.000	79	1930 28TH AVE S	28 00 07 3 017 011.000
33	2908 18TH ST S	28 00 07 3 028 007.000	80	1802 29TH AVE S	28 00 07 3 020 012.002
34	2923 18TH ST S	28 00 07 3 029 009.000	81	1804 29TH AVE S	28 00 07 3 020 012.003
35	2925 18TH ST S	28 00 07 3 029 014.000	82	1808 29TH AVE S	28 00 07 3 020 013.000
36	2930 18TH ST S	28 00 07 3 028 006.000	83	1811 29TH AVE S	28 00 07 3 029 007.000
37	2931 18TH ST S	28 00 07 3 029 015.000	84	1817 29TH AVE S	28 00 07 3 029 006.000
38	2939 18TH ST S	28 00 07 3 029 016.000	85	1922 29TH AVE S	28 00 07 3 018 004.001
39	2949 18TH ST S	28 00 07 3 029 017.000	86	1924 29TH AVE S	28 00 07 3 018 004.000
40	2621 19TH PL S	28 00 07 2 024 001.000	87	1926 29TH AVE S 100	28 00 07 3 018 005.000
41	2626 19TH PL S	28 00 07 2 023 002.000	88	1927 29TH AVE S	28 00 07 3 030 002.000
42	2629 19TH PL S	28 00 07 2 022 001.000	89	1931 29TH AVE S	28 00 07 3 030 001.000
43	2635 19TH PL S	28 00 07 3 001 001.000	90	1917 29TH ST S	28 00 07 3 030 005.000
44	2700 19TH PL S 200	28 00 07 3 016 001.000	91	1923 29TH ST S	28 00 07 3 030 004.000
45	2703 19TH PL S	28 00 07 3 017 001.000	92	1925 29TH ST S	28 00 07 3 030 003.000
46	2707 19TH PL S	28 00 07 3 017 002.000	93	1906 COURTNEY DR	28 00 07 3 032 023.000
47	2709 19TH PL S	28 00 07 3 017 003.000	94	3008 DRAKE ST	28 00 07 3 032 025.000

Exhibit C
Parcels to be Rezoned to Downtown Medium Intensity District (MI)

	Property Address	Parcel ID		Property Address	Parcel ID
95	1 INDEPENDENCE PLAZA	28 00 07 3 018 002.502	101	1800 OXMOOR RD	28 00 07 3 029 010.000
96	2908 INDEPENDENCE DR	28 00 07 3 030 011.000	102	1806 OXMOOR RD	28 00 07 3 029 011.000
97	3030 INDEPENDENCE DR	28 00 07 3 031 001.000	103	1808 OXMOOR RD	28 00 07 3 029 012.000
98	2611 MAMIE L FOSTERS 18TH PL S	28 00 07 2 025 001.000	104	1909 OXMOOR RD	28 00 07 3 032 001.000
99	2614 MAMIE L FOSTERS 18TH PL S	28 00 07 2 026 003.000	105	1920 OXMOOR RD	28 00 07 3 030 010.000
100	2619 MAMIE L FOSTERS 18TH PL S	28 00 07 3 003 001.000	106	1736 REESE ST	28 00 07 3 021 009.000
			107	1747 REESE ST 211	28 00 07 3 028 011.000

Exhibit C

Parcels

Parcels to be Rezoned to

MI Downtown Medium Intensity District

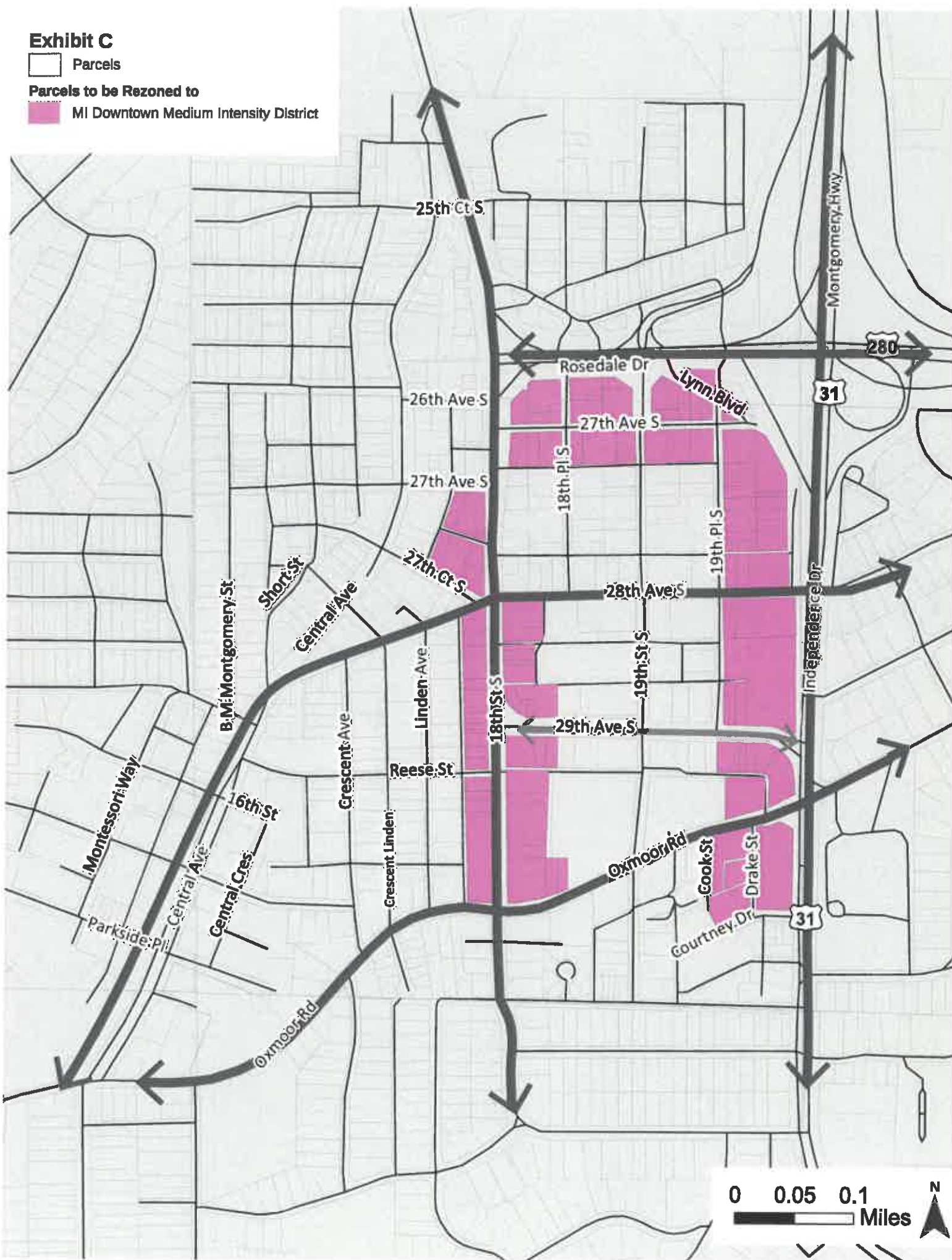


Exhibit D
Parcels to be Rezoned to Downtown High Intensity District (HI)

	Property Address	Parcel ID		Property Address	Parcel ID
1	2707 18TH ST S	28 00 07 3 014 005.000	47	1831 28TH AVE S	29 00 07 3 020 001.381
2	2713 18TH ST S	28 00 07 3 014 006.000	48	1831 28TH AVE S	29 00 07 3 020 001.382
3	2717 18TH ST S	28 00 07 3 014 013.000	49	1831 28TH AVE S #200	28 00 07 3 020 001.356
4	2725 18TH ST S	28 00 07 3 014 007.000	50	1831 28TH AVE S #205	28 00 07 3 020 001.355
5	2727 18TH ST S	28 00 07 3 014 008.000	51	1831 28TH AVE S #210	28 00 07 3 020 001.357
6	2739 18TH ST S	28 00 07 3 014 009.000	52	1831 28TH AVE S #240	28 00 07 3 020 001.347
7	2714 19TH PL S	28 00 07 3 016 012.000	53	1831 28TH AVE S #260	28 00 07 3 020 001.349
8	2718 19TH PL S	28 00 07 3 016 011.000	54	1831 28TH AVE S #265	28 00 07 3 020 001.352
9	2722 19TH PL S	28 00 07 3 016 010.000	55	1831 28TH AVE S #275	28 00 07 3 020 001.351
10	2806 19TH PL S	28 00 07 3 019 009.000	56	1831 28TH AVE S #307	29 00 07 3 020 001.364
11	2810 19TH PL S	28 00 07 3 019 008.000	57	1831 28TH AVE S #310	29 00 07 3 020 001.370
12	2812 19TH PL S	28 00 07 3 019 007.000	58	1831 28TH AVE S #340	29 00 07 3 020 001.360
13	2706 19TH ST S	28 00 07 3 015 019.000	59	1831 28TH AVE S #360	29 00 07 3 020 001.362
14	2709 19TH ST S	28 00 07 3 016 003.000	60	1831 28TH AVE S #365	29 00 07 3 020 001.365
15	2712 19TH ST S	28 00 07 3 015 018.000	61	1831 28TH AVE S #410	29 00 07 3 020 001.383
16	2713 19TH ST S	28 00 07 3 016 004.000	62	1831 28TH AVE S #420	29 00 07 3 020 001.371
17	2714 19TH ST S	28 00 07 3 015 017.000	63	1831 28TH AVE S #430	29 00 07 3 020 001.372
18	2717 19TH ST S	28 00 07 3 016 005.000	64	1831 28TH AVE S #440	29 00 07 3 020 001.373
19	2719 19TH ST S	28 00 07 3 016 006.000	65	1831 28TH AVE S #450	29 00 07 3 020 001.374
20	2720 19TH ST S	28 00 07 3 015 016.000	66	1831 28TH AVE S #455	29 00 07 3 020 001.379
21	2730 19TH ST S 104	28 00 07 3 015 015.000	67	1831 28TH AVE S #460	29 00 07 3 020 001.375
22	2829 19TH ST S	28 00 07 3 019 003.000	68	1831 28TH AVE S #465	29 00 07 3 020 001.378
23	1806 28TH AVE S	28 00 07 3 014 010.001	69	1831 28TH AVE S #475	29 00 07 3 020 001.377
24	1810 28TH AVE S	28 00 07 3 014 010.000	70	1900 28TH AVE S 100	28 00 07 3 016 008.000
25	1812 28TH AVE S	28 00 07 3 014 011.000	71	1901 28TH AVE S	28 00 07 3 019 002.000
26	1816 28TH AVE S	28 00 07 3 015 011.000	72	1910 28TH AVE S	28 00 07 3 016 009.000
27	1820 28TH AVE S	28 00 07 3 015 012.000	73	1915 28TH AVE S	28 00 07 3 019 001.000
28	1824 28TH AVE S	28 00 07 3 015 013.000	74	1819 29TH AVE S	28 00 07 3 029 005.000
29	1825 29TH AVE S	28 00 07 3 029 003.000	75	1821 29TH ST S	28 00 07 3 029 004.000
30	1830 28TH AVE S	28 00 07 3 015 014.000	76	1830 29TH AVE S	28 00 07 3 020 001.302
31	1831 28TH AVE S	28 00 07 3 020 001.345	77	1830 29TH AVE S	28 00 07 3 020 001.303
32	1831 28TH AVE S	28 00 07 3 020 001.346	78	1830 29TH AVE S	28 00 07 3 020 001.304
33	1831 28TH AVE S	28 00 07 3 020 001.348	79	1830 29TH AVE S	28 00 07 3 020 001.307
34	1831 28TH AVE S	28 00 07 3 020 001.350	80	1830 29TH AVE S	28 00 07 3 020 001.310
35	1831 28TH AVE S	28 00 07 3 020 001.353	81	1830 29TH AVE S	28 00 07 3 020 001.312
36	1831 28TH AVE S	28 00 07 3 020 001.354	82	1830 29TH AVE S	28 00 07 3 020 001.323
37	1831 28TH AVE S	28 00 07 3 020 001.358	83	1830 29TH AVE S	28 00 07 3 020 001.326
38	1831 28TH AVE S	28 00 07 3 020 001.359	84	1830 29TH AVE S	28 00 07 3 020 001.327
39	1831 28TH AVE S	29 00 07 3 020 001.361	85	1830 29TH AVE S	28 00 07 3 020 001.329
40	1831 28TH AVE S	29 00 07 3 020 001.363	86	1830 29TH AVE S	28 00 07 3 020 001.331
41	1831 28TH AVE S	29 00 07 3 020 001.366	87	1830 29TH AVE S	28 00 07 3 020 001.332
42	1831 28TH AVE S	29 00 07 3 020 001.367	88	1830 29TH AVE S # 345	28 00 07 3 020 001.325
43	1831 28TH AVE S	29 00 07 3 020 001.368	89	1830 29TH AVE S # 215	28 00 07 3 020 001.315
44	1831 28TH AVE S	29 00 07 3 020 001.369	90	1830 29TH AVE S # 230	28 00 07 3 020 001.306
45	1831 28TH AVE S	29 00 07 3 020 001.376	91	1830 29TH AVE S # 250	28 00 07 3 020 001.308
46	1831 28TH AVE S	29 00 07 3 020 001.380	92	1830 29TH AVE S # 260	28 00 07 3 020 001.313

Exhibit D
Parcels to be Rezoned to Downtown High Intensity District (HI)

	Property Address	Parcel ID		Property Address	Parcel ID
93	1830 29TH AVE S # 265	28 00 07 3 020 001.311	134	100 HALLMAN HILL EAST #109	28 00 07 3 030 009.342
94	1830 29TH AVE S # 310	28 00 07 3 020 001.317	135	100 HALLMAN HILL EAST #113	28 00 07 3 030 009.343
95	1830 29TH AVE S # 315	28 00 07 3 020 001.328	136	100 HALLMAN HILL EAST #117	28 00 07 3 030 009.344
96	1830 29TH AVE S # 320	28 00 07 3 020 001.318	137	100 HALLMAN HILL EAST #121	28 00 07 3 030 009.345
97	1830 29TH AVE S # 330	28 00 07 3 020 001.319	138	100 HALLMAN HILL EAST #201	28 00 07 3 030 009.346
98	1830 29TH AVE S # 365	28 00 07 3 020 001.324	139	100 HALLMAN HILL EAST #205	28 00 07 3 030 009.347
99	1830 29TH AVE S # 400	28 00 07 3 020 001.341	140	100 HALLMAN HILL EAST #209	28 00 07 3 030 009.349
100	1830 29TH AVE S # 425	28 00 07 3 020 001.340	141	100 HALLMAN HILL EAST #210	28 00 07 3 030 009.348
101	1830 29TH AVE S # 435	28 00 07 3 020 001.339	142	100 HALLMAN HILL EAST #213	28 00 07 3 030 009.350
102	1830 29TH AVE S # 440	28 00 07 3 020 001.333	143	100 HALLMAN HILL EAST #221	28 00 07 3 030 009.352
103	1830 29TH AVE S # 440	28 00 07 3 020 001.338	144	100 HALLMAN HILL EAST #301	28 00 07 3 030 009.353
104	1830 29TH AVE S # 450	28 00 07 3 020 001.334	145	100 HALLMAN HILL EAST #305	28 00 07 3 030 009.354
105	1830 29TH AVE S # 460	28 00 07 3 020 001.335	146	100 HALLMAN HILL EAST #310	28 00 07 3 030 009.355
106	1830 29TH AVE S # 475	28 00 07 3 020 001.336	147	100 HALLMAN HILL EAST #313	28 00 07 3 030 009.357
107	1830 29TH AVE S #220	28 00 07 3 020 001.305	148	100 HALLMAN HILL EAST #401	28 00 07 3 030 009.360
108	1830 29TH AVE S #225	28 00 07 3 020 001.314	149	100 HALLMAN HILL EAST #405	28 00 07 3 030 009.361
109	1830 29TH AVE S AL	28 00 07 3 020 001.320	150	100 HALLMAN HILL EAST #409	28 00 07 3 030 009.363
110	1830 29TH AVE S AL	28 00 07 3 020 001.322	151	100 HALLMAN HILL EAST #410	28 00 07 3 030 009.362
111	1830 29TH AVE S FLAT 2605	28 00 07 3 020 001.309	152	100 HALLMAN HILL EAST #413	28 00 07 3 030 009.364
112	1830 29TH AVE S STE # 401	28 00 07 3 020 001.330	153	100 HALLMAN HILL EAST #417	28 00 07 3 030 009.365
113	1830 29TH AVE S	28 00 07 3 020 001.301	154	100 HALLMAN HILL EAST #421	28 00 07 3 030 009.366
114	1830 29TH AVE S	28 00 07 3 020 001.337	155	200 HALLMAN HILL EAST	28 00 07 3 030 009.371
115	1830 29TH AVE S	28 00 07 3 020 001.342	156	200 HALLMAN HILL EAST	28 00 07 3 030 009.372
116	1830 29TH AVE S	28 00 07 3 020 001.343	157	200 HALLMAN HILL EAST #101	28 00 07 3 030 009.367
117	1830 29TH AVE S	28 00 07 3 020 001.344	158	200 HALLMAN HILL EAST #105	28 00 07 3 030 009.368
118	1830 29TH AVENUE S UNIT#350	28 00 07 3 020 001.321	159	200 HALLMAN HILL EAST #109	28 00 07 3 030 009.369
119	1830 29TH AVENUE SOUTH #200	28 00 07 3 020 001.316			
120	1831 29TH AVE S 111	28 00 07 3 029 002.000			
121	1903 29TH AVE S	28 00 07 3 030 008.000			
122	1904 29TH AVE S	28 00 07 3 019 004.000			
123	1907 29TH AVE S	28 00 07 3 030 007.000			
124	1908 29TH AVE S	28 00 07 3 019 005.000			
125	1911 29TH AVE S	28 00 07 3 030 006.000			
126	1920 29TH AVE S	28 00 07 3 019 006.000			
127	100 HALLMAN HILL EAST	28 00 07 3 030 009.341			
128	100 HALLMAN HILL EAST	28 00 07 3 030 009.351			
129	100 HALLMAN HILL EAST	28 00 07 3 030 009.356			
130	100 HALLMAN HILL EAST	28 00 07 3 030 009.358			
131	100 HALLMAN HILL EAST	28 00 07 3 030 009.359			
132	100 HALLMAN HILL EAST #101	28 00 07 3 030 009.339			
133	100 HALLMAN HILL EAST #105	28 00 07 3 030 009.340			

Exhibit D
Parcels to be Razoned to Downtown High Intensity District (HI)

Property Address	Parcel ID	Property Address	Parcel ID
160 200 HALLMAN HILL EAST #113	28 00 07 3 030 009.370	187 350 HALLMAN HILL EAST #213	28 00 07 3 030 009.313
161 200 HALLMAN HILL EAST #205	28 00 07 3 030 009.373	188 350 HALLMAN HILL EAST #217	28 00 07 3 030 009.312
162 200 HALLMAN HILL EAST #209	28 00 07 3 030 009.374	189 350 HALLMAN HILL EAST #301	28 00 07 3 030 009.325
163 200 HALLMAN HILL EAST #213	28 00 07 3 030 009.375	190 350 HALLMAN HILL EAST #305	28 00 07 3 030 009.324
164 200 HALLMAN HILL EAST UNIT 217	28 00 07 3 030 009.376	191 350 HALLMAN HILL EAST #308	28 00 07 3 030 009.323
165 300 HALLMAN HILL EAST	28 00 07 3 030 009.302	192 350 HALLMAN HILL EAST #309	28 00 07 3 030 009.322
166 300 HALLMAN HILL EAST	28 00 07 3 030 009.337	193 350 HALLMAN HILL EAST #312	28 00 07 3 030 009.321
167 300 HALLMAN HILL EAST	28 00 07 3 030 009.338	194 350 HALLMAN HILL EAST #313	28 00 07 3 030 009.320
168 350 HALLMAN HILL EAST	28 00 07 3 030 009.301	195 350 HALLMAN HILL EAST #317	28 00 07 3 030 009.319
169 350 HALLMAN HILL EAST	28 00 07 3 030 009.303	196 350 HALLMAN HILL EAST #401	28 00 07 3 030 009.332
170 350 HALLMAN HILL EAST	28 00 07 3 030 009.304	197 350 HALLMAN HILL EAST #405	28 00 07 3 030 009.331
171 350 HALLMAN HILL EAST #101	28 00 07 3 030 009.311	198 350 HALLMAN HILL EAST #408	28 00 07 3 030 009.330
172 350 HALLMAN HILL EAST #101	28 00 07 3 030 009.335	199 350 HALLMAN HILL EAST #409	28 00 07 3 030 009.329
173 350 HALLMAN HILL EAST #105	28 00 07 3 030 009.310	200 350 HALLMAN HILL EAST #412	28 00 07 3 030 009.328
174 350 HALLMAN HILL EAST #105	28 00 07 3 030 009.334	201 350 HALLMAN HILL EAST #413	28 00 07 3 030 009.327
175 350 HALLMAN HILL EAST #106	28 00 07 3 030 009.333	202 350 HALLMAN HILL EAST #417	28 00 07 3 030 009.326
176 350 HALLMAN HILL EAST #108	28 00 07 3 030 009.309	203 2709 MAMIE L FOSTERS 18TH PL S	28 00 07 3 015 004.000
177 350 HALLMAN HILL EAST #109	28 00 07 3 030 009.308	204 2712 MAMIE L FOSTERS 18TH PL S	28 00 07 3 014 017.000
178 350 HALLMAN HILL EAST #111	28 00 07 3 030 009.307	205 2715 MAMIE L FOSTERS 18TH PL S	28 00 07 3 015 007.000
179 350 HALLMAN HILL EAST #113	28 00 07 3 030 009.306	206 2716 MAMIE L FOSTERS 18TH PL S	28 00 07 3 014 016.000
180 350 HALLMAN HILL EAST #117	28 00 07 3 030 009.305	207 2719 MAMIE L FOSTERS 18TH PL S	28 00 07 3 015 008.000
181 350 HALLMAN HILL EAST #201	28 00 07 3 030 009.318	208 2721 MAMIE L FOSTERS 18TH PL S	28 00 07 3 015 009.000
182 350 HALLMAN HILL EAST #205	28 00 07 3 030 009.317	209 2723 MAMIE L FOSTERS 18TH PL S	28 00 07 3 015 010.000
183 350 HALLMAN HILL EAST #206	28 00 07 3 030 009.336	210 2728 MAMIE L FOSTERS 18TH PL S	28 00 07 3 014 012.000
184 350 HALLMAN HILL EAST #208	28 00 07 3 030 009.316	211 1880 OXMOOR RD 172	28 00 07 3 029 013.000
185 350 HALLMAN HILL EAST #209	28 00 07 3 030 009.315		
186 350 HALLMAN HILL EAST #211	28 00 07 3 030 009.314		

 HI Downtown High Intensity District